

Cambridge Redevelopment Authority

Board Packet of Supporting Materials

Meeting Of June 19th, 2013

1. Agenda
2. Draft minutes from the meeting of May 15, 2013
3. Correspondence from Thad Tercyak
4. Monthly Report to the Board of the Executive Redevelopment Officer
5. Report on Trial Balance, CD/Cash Schedule, and Cash Flow
6. 2013 Budget Revision Proposal
7. Resolution Regarding Robert F. Rowland
8. Report on the walk through of 3, 4, and 5 Cambridge Center and Certificate of Completion
9. Broad Institute Signage and Revised Entry Canopy Design
10. Documents related to the CRA parcel transfer to the City for open space purposes
11. Report on the walk through of 17 Cambridge Center / 300 Binney Street
12. Materials from the East Cambridge Open Space Planning Committee
13. Microsoft Signage proposal for One Cambridge Center

Cambridge Redevelopment Authority

One Cambridge Center/Fourth Floor
Cambridge, Massachusetts 02142
617 492-6801
617 492-6804 (FAX)



NOTICE OF MEETING and PROPOSED AGENDA

June 19, 2013 Meeting

Pursuant to the Massachusetts Open Meeting Law, M.G.L. c. 30A, §§ 18-25, notice is hereby given of a meeting of the Cambridge Redevelopment Authority to take place as follows:

Wednesday June 19, 2013 at 5:30 pm
Cambridge Police Department
First Floor Community Room
125 Sixth Street
Cambridge, Massachusetts

The following is a proposed agenda containing the items the Chair of the Authority reasonably anticipates will be discussed at the meeting.

Call

Public Comment

Minutes

1. Motion: To approve the minutes of most recent regularly scheduled meeting of the Authority on May 15, 2013 *
2. Motion: To place on file the Minutes of the joint CRA, and Neighborhood and Long Term Planning Committee of the City Counsel meeting of April 17, 2013 **

Communications

3. Correspondence dated June 7, 2013 from Thad Tercyak *

Reports, Motions and Discussion Items:

4. Report: Monthly Report to the Board of the Executive Redevelopment Officer *
5. Report: On trial balance as of 5/31/13; CD Schedule/All Cash; & Cash Flow 2013 *
6. Report: On status of 2013 Budget Revisions *
7. Motion: To approve a resolution regarding Robert F. Rowland, CRA Executive Director from 1964 – 1982 *

8. Motion: To authorize the Executive Redevelopment Officer and Chair to execute the Escrow Agreement and Certificate of Completion for the 3, 4, and 5 Cambridge Center / Google Connector Project pending the approval of the Design Review Committee *
9. Motion: To grant approval for the installation of Broad Institute signage and the revised entry canopy design for 75 Ames St. *
10. Motion: To authorize the Executive Redevelopment Office to execute the transfer of CRA Parcels to the City of Cambridge for open space purposes *
11. Report of the Design Review Committee walk through and Certificate of Completion for the project at 17 Cambridge Center / 300 Binney St. *
12. Report: On East Cambridge Open Space Planning Committee *
13. Report: Update from Boston Properties on Ames Street Housing and Microsoft Signage *
14. Discussion: Strategic planning process

Adjournment

(*) Supporting materials can be found at <http://cambridgema.gov/cdd/zoninganddevelopment/cra>

(**) Final version to be approved by City Council on June 17th

Next Meeting: July 17, 2013 at the Police Station First Floor Community Room

Location and Time of August and September meetings to be determined

Meeting materials can be found at <http://cambridgema.gov/cdd/zoninganddevelopment/cra>

The Cambridge Redevelopment Authority is a "local public body" for the purpose of the Open Meeting Law pursuant to M. G. L. c. 30A, § 18.

M. G. L. c. 30A, § 20, provides, in relevant part:

(b) Except in an emergency, in addition to any notice otherwise required by law, a public body shall post notice of every meeting at least 48 hours prior to such meeting, excluding Saturdays, Sundays and legal holidays. In an emergency, a public body shall post notice as soon as reasonably possible prior to such meeting. Notice shall be printed in a legible, easily understandable format and shall contain the date, time and place of such meeting and a listing of topics that the chair reasonably anticipates will be discussed at the meeting.

(c) For meetings of a local public body, notice shall be filed with the municipal clerk and posted in a manner conspicuously visible to the public at all hours in or on the municipal building in which the clerk's office is located.

It is the policy of the Cambridge Redevelopment Authority to provide notice at least 7 calendar days prior to its meetings whenever practicable.

**Regular Meeting
Cambridge Redevelopment Authority**

Wednesday, May 15, 2013; 5:30pm
Cambridge Police Station
125 Sixth Street
Community Room

DRAFT MEETING MINUTES

CRA Representatives Present

Kathleen Born (Chair), Margaret Drury (Vice-Chair), Christopher Bator, Barry Zevin, Conrad Crawford, Executive Redevelopment Officer Tom Evans, Counsel Jeffrey Mullan

Public comment sign-in sheet for entry into record.

Call to Order: Kathleen Born, called the meeting to order (5:39).

Public Comment

Written materials related to comments entered into record.

Anne-Marie Aigner

Representing Food Truck Festivals of New England requested permission to hang a temporary banner for the first food truck festival to be held in Kendall Square on June 8, 2013. Ms. Aigner is excited about changes in Kendall square and spoke of partners/location on the Broad Canal. Visibility is important to success of festival; therefore banner is requested in Point Park (Boston Properties' site). It would be put up Sunday evening and remain through June 8th at 6:00 pm.

Mr. Evans reported that Cambridge Community Development Department staff was supportive of this temporary signage, noting that the process is informal. Ms. Born reported that Boston Properties will allow the signage. Details will be finalized with Mr. Evans and Boston Properties.

Stephen Kaiser

Referred to his letter to the board regarding planning in the city and his concerns about the Kendall Square/Central Square study process. Mr. Kaiser also spoke of his concerns regarding the former CRA Executive Director activity. Hopes to have better communication between new City Manager and CRA board.

Heather Hoffman

Spoke of concerns regarding former Executive Director and legality of work done during his tenure. In favor of careful examination of prior activity for the sake of Kendall Square's and CRA's future.

Carol Bellew

Has been working on the courthouse redevelopment issues and asking for CRA involvement with that project.

Tom Stohlman

Although not a member of the East Cambridge Planning Team, he attends as interested citizen and is following courthouse redevelopment. Encouraging CRA to engage in this process to achieve better uses and new partnerships.

Rhoda Fantasia

Has been working with East Cambridge Planning Team regarding courthouse redevelopment planning. Is interested in height reduction for courthouse building via development transfer. Encourages CRA to get involved with process.

Ms. Born commented that although CRA has not moved beyond Kendall Square, the Board is very happy to receive this encouragement from the community. Mr. Evans agreed to set up a time with community members to listen to their proposal and tour the site.

Public Comment closed 6:15

Acceptance of minutes:

Minutes for the April 17, 2013 meeting were approved.

Communications

(All entered into the record)

- Correspondence dated April 22, 2013 from CRA Special Counsel
- Correspondence dated May 3, 2013 from Tom Stohlman to Kathy Born
- Correspondence dated May 8, 2013 from Stephen Kaiser to CRA Board

Report of the Ad-Hoc Legal Committee

Margaret Drury read the following statement into the record:

“The Special Counsel has concluded its work and has issued a demand letter to counsel for the former Executive Director. That letter is on tonight’s agenda. The SC review included examination of voluminous boxes of paper records and the hard drives from the CRA computers. Special Counsel also spoke with many witnesses. The Ad Hoc committee worked with our Special Counsel during the preparation of the report, and we believe that the product is consistent with what the Board of the CRA has requested.

The matter is also being reviewed by the proper organizations with jurisdiction over the subject matter. The CRA has cooperated and continues to cooperate fully with those organizations.

Last year, the Board of the CRA commissioned a review of known activity during the “Look Back Period”, and since then has taken action to correct deficiencies that have been identified, including actions taken with respect to the Urban Renewal Plan, the Broad expansion, and the Google Connector. It has also declared many of its contracts with vendors to be void, has procured new vendors where appropriate and necessary.

In addition the CRA has revised its bylaws, developed a website on which it publishes current and historical information, adopted a practice of meeting monthly, invited the public to offer comment at its meetings, enlisted the support of the City of Cambridge in important areas such as management, bookkeeping and investment advice, conducted outreach and held joint meetings with the Planning Board and members of the City Council, and reviewed and revised its banking practices. While there is more work to be done, there have been many positive changes to the Authority’s practices in the one year since its first meeting.

The Authority is restarting the audit processes for 2010 and 2011 and, as noted in tonight’s agenda, will be recommending that the audit firm retained last year to complete the 2011 audit be requested to complete the 2010 audit as well. I understand that those audits should be completed over the next few months.

With this step taken by the Special Counsel, the Authority is restarting the audit processes for 2010 and 2011 and, as noted in tonight’s agenda, will be recommending that the audit firm retained last year to complete the 2011 audit be requested to complete the 2010 audit as well. I understand that those audits should be completed over the next few months.

Other than work that may be necessary in connection with cooperating with the proper organizations with jurisdiction over the subject matter, the committee believes that the work of the Special Counsel should be considered complete. The committee recommends that the Board vote to authorize the completion of the 2010 audit so that the 2010 and 2011 audits may begin again. Otherwise, the committee recommends that the Board take no additional action.”

Finance Subcommittee Report

Motion: To receive and place on file the Finance Committee Trial Balance & Cash Flow Report.

Vote: Approved. All in favor.

Ms. Born noted that prior auditors for CRA have been let go and that Roselli, Clark and Associates would work with them to look at audits for 2010 and 2011 in addition to performing audit for FY 2012.

Motion: *To authorize the Executive Redevelopment Officer to execute a contract amendment with the firm of Roselli, Clark and Associates for the purpose of completing the Authority's FY 2010 audit; provided, however, that the cost of such contract amendment shall not exceed \$7,500.*

Further, the Board agrees to exercise the option in the existing contract with Roselli, Clark and Associates to complete the Authority's FY 2012 for the previously agreed upon fee of \$9,900.

Vote: *Approved. All in favor.*

Report of the Design Sub-Committee

The Design Review committee and Boston Properties successfully resolved the Microsoft roof deck building material details at a meeting with the designers on May 7, 2013. A metal panel system similar to material used for signage on the building was selected.

Boston Properties Updates

Boston Properties representatives Kevin Shaham and David Steward updated the board on Ames Street project. On April 22, the City Council authorized the City Manager to move forward with land disposition and get two appraisals on property. The board discussed details regarding public and open space, retail, necessary zoning modifications and the relationship between residents and the public/commercial areas. Boston Properties anticipated that construction could start in 2014 with completion targeted for 2016 and encouraged the board to advocate for fast track.

Mr. Sheehan also provided an update on the modification of the Connector Building between Four and Five Cambridge Center. A new roof design provides more green area and limited pavers to provide access to rooftop equipment. The green roof is not accessible except for maintenance but provides general environmental and visual benefits--LEED Gold certification is targeted. Discussion of possibility of edible material on roof, to be continued with sub-committee.

Executive Redevelopment Officer Contract

Motion: *That the Cambridge Redevelopment Authority confirms the execution of the contract between the Authority and Thomas Evans setting forth the terms pursuant to which Mr. Evans will serve as the Authority's Executive Redevelopment Officer as presented in this meeting. The Authority further confirms that in that capacity, Mr. Evans shall be the senior executive of the Authority, and shall have all of the powers of the Authority's Executive Director pursuant to law and the Authority's bylaws. The exercise of such power shall be subject to the Authority's receipt of a monthly written report of the Redevelopment Officer.*

Strategic Planning Update

Tom Evans updated the board on the approach for strategic planning and asked that Kathryn Madden be brought on as a part-time contract employee. He anticipates a process whereby a plan would be ready for community review in the fall with final document prepared by the end of

October. Ms. Born spoke of including the City Manager in this process before he departs. Board voted to finalize and execute contract with Kathryn Madden.

Motion: *Motion to enter contract negotiations with Kathryn Madden as a part-time contract employee, and authorizing the personnel committee and the Executive Redevelopment Office to draft, finalize, and execute an employment contract.*

Voted: *Approved. All in favor.*

Report of the Executive Redevelopment Officer

Mr. Evans updated the board on administrative matters and his efforts to get things in working order and provide information to the public. Financial material is now in good shape and he is working with the City on systems for check signing, payroll, procurement, budget tracking, etc. Discussed possibility of administrative assistance via co-op students, fellowships, interns, work-study, etc. and about ongoing engagement with Community Development Department staff/public processes as they relate to CRA's interests.

Update on development activity: Boston Properties is close to completing Google expansion and the Biogen building at 17 Cambridge Center and will need certificates of completion for both projects. Ms. Born noted that signs have not been approved at Main Street Arcade and there was discussion of Google signage, sidewalk. He mentioned an upcoming MassDOT meeting on May 16 regarding the Longfellow Bridge project, and that work had begun on Broadway. Mr. Evans met with Greenscape to discuss their landscaping scope of their work and their intent for demolition of the Tot Lot site including equipment, seating, fencing and hedges. He has questions about the use of the shed on the CRA property and anticipated adding this to the scope for removal.

Other Business

The board moved/voted 5-0 to convene in Executive Session for the purpose of discussion pending litigation.

Adjournment for regular meeting: 7:28 p.m.

Next Regular Meeting Date: June 19, 2013

Thad Tercyak

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OR

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E-Mail: tedtercyak@cs.com

Mr. Tom Evans, Executive Director
Cambridge Redevelopment Authority
One Cambridge Center, 4th floor
Cambridge, MA 02142

June 7, 2013

Re: Resolution regarding Robert F. Rowland, CRA Executive Director, 1964-1982

Dear Mr. Evans:

My name is Thad Tercyak, I served as an CRA Associate Director from 1968 until retirement in 1990.

The purpose of this letter is to request your help in resolving what I refer to as the Rowland situation. Robert F. Rowland served as CRA Executive Director from 1964 to 1982. Publicity about the Kendall Square Urban Renewal Project during the 1990's and into the 2000's mention only Tulimieri's name as CRA Executive Director, and imply he was the only CRA Executive Director for the Kendall Square Urban Renewal Project since the project began in 1964, and ignore the effective work accomplished by Rowland from 1964 until he resigned in 1982. The CRA's accomplishments during Rowland tenure are described in a narrative I sent to the CRA entitled "50 Years of the Kendall Square Urban Renewal Project". The narrative pointed out that including only Tulimieri's name and excluding Rowland's name on a CRA plaque entitled "In Recognition of the Efforts of the Cambridge Redevelopment Authority in the Development of Cambridge Center" was an omission that deserved to be corrected.

The CRA Board reviewed the narrative at its February 27 meeting and voted to acknowledge Mr. Rowland's efforts and accomplishments as CRA Executive Director. Chairperson Born expressed doubts about using a plaque to formally express CRA's appreciation for Rowland's service and felt there could be a more appropriate way. Ms. Born contacted Rowland and ideas were exchanged. Both agreed further thought was needed.

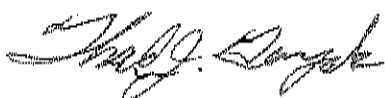
On May 19, I sent an E-mail to Ms. Born requesting Rowland's situation be reviewed because of his many serious medical problems. Also, I asked Rowland what his expectations were concerning the CRA Board's vote. He proposed the CRA adopt a formal Resolution acknowledging his service. He will be satisfied if the Resolution is prepared as a formal document and sent to him. Anything else in addition to a Resolution is entirely up to the CRA's discretion. However, he would like to be consulted should the CRA decide to do anything in addition to a Resolution.

In an effort to move ahead, I have prepared, on my own, a draft Resolution, attached. I sent a draft copy to Ms. Born. Also, I am sending a copy of this letter to Ms. Born.

Please feel free to edit or ignore the draft Resolution, whatever you feel is appropriate. Any effort you can devote to this request will be greatly appreciated.

My E-Mail address: "tedtercyak@cs.com" or tel: (919) 460-4526. Your E-Mail address?

Wishing you the best of luck in your new position.



**Resolution, Cambridge Redevelopment Authority Re: Robert F. Rowland, Executive Directory
1964-1982**

Whereas, in 1963 Robert F. Rowland, a professional city planner, observed that the 43-acre area north of the MBTA Kendall Square Rapid transit station was severely underdeveloped and underutilized with largely vacant, obsolete industrial and warehouse buildings. He visualized the land as an ideal site for urban redevelopment because of its unique locational advantages such as proximity to MIT and subway connections to Harvard and Downtown Boston. On his own time, Mr. Rowland sketched out a concept plan to redevelop the land by offering it to NASA which had selected Cambridge to provide a site for its Electronic Research Center. He presented his concept plan to the CRA Board which asked him to work with the CRA to move the plan through the redevelopment process. Rowland agreed, was hired by the CRA and in 1964 appointed CRA Executive Director.

Whereas, in 1964, the CRA presented the concept plan to Cambridge City Council which voted to have the CRA prepare a Kendall Square Urban Renewal Plan with two objectives: (1) to provide land for both NASA and private development which would generate needed tax revenues for the City of Cambridge and employment opportunities; and (2) to secure maximum federal funds to finance implementation of the redevelopment plan.

Whereas, using Mr. Rowland's expert knowledge of federal urban renewal rules and regulations, the CRA took the lead in coordinating the efforts of Cambridge and MIT officials and congressional representatives to work out the details required to take advantage of a complex urban renewal financing formula (so-called "Section 112 Credits") which could be used "to secure maximum federal funds...". As a result, enough Section 112 credits were accumulated to cover Cambridge's entire \$6.5 million share of net project costs, alleviating concerns about Cambridge's financial ability to undertake the project.

Whereas, in order to transform 43-acres of urban blight area into vacant land suitable for construction of improvements designated by the Kendall Square Urban Renewal Plan, the CRA assembled a staff and established relationships with consultants needed to acquire 70 parcels of land, relocate 100 businesses, demolish 50 buildings, construct public improvements, and create new traffic patterns of circulation by discontinuing old streets and designating new streets.

Whereas, in 1970, after the CRA transferred 19 acres of vacant land to NASA for construction of a 14-story office tower and five low-rise buildings, and prepared an additional 10 acres of vacant land for NASA's future development, NASA decided to abandon its operations in the project. It indicated it did not need the 10-acre site of vacant land, and was transferring its interests in the project to the U.S. Department of Transportation (DOT). DOT established the National Transportation System Center on the site formerly occupied by NASA and named it after John A. Volpe, Secretary of DOT and former governor of Massachusetts.

Whereas, the CRA determined that the 10-acre vacant site originally designated for NASA's use could be developed for private uses which would benefit Cambridge more than if the land was developed by the federal government. The CRA decided to negotiate for the rights to the land and to amend the Kendall Square Plan designating new reuses for the undeveloped land even though that meant starting again the complicated and time consuming process of preparing a second Kendall Square Plan. After 2 years of prolonged negotiations

among the CRA, DOT, U.S. General Services Administration, and HUD, Secretary Volpe released DOT's rights to Parcel 2 to the CRA.

Whereas, the City of Cambridge was unprepared for carrying out the difficult and complicated tasks involved in preparing a new plan. A number of plans were proposed, but the City could not arrive at a consensus. Over time, a cloud descended over the project's development potential.

Whereas, To help break the planning deadlock, the CRA retained the advisory panel services of the Urban Land Institute (ULI) to review the Kendall Square Project and propose ways to move the project in the right direction. The ULI panel concluded that only a few properties in the country had a broader array of locational advantages compared to the Kendall Square area, "Cambridge Center is a unique opportunity area, one that should be reserved to maximize its locational advantages". The CRA and Cambridge City Council endorsed the panel's recommendations and approved a Kendall Square Urban Renewal Plan for a mixed-use development, with the objectives of generating tax revenues and jobs.

Whereas, the CRA prepared land for construction of improvements by removing all legal and technical impediments to development; completing an Environmental Impact Statement; securing plan and zoning amendments; and accomplishing a \$7 million public improvements program, including construction of infrastructure and execution of traffic circulation plans.

Whereas, in 1978, the CRA issued an invitation for proposals to develop Cambridge Center. After exhaustive interviews and analysis of the development proposals, the CRA designated Boston Properties as developer of Cambridge Center because it had the background, experience, financial resources and patience to attract the type of users that would promote development of the Cambridge Center land to its highest and best uses. The development of Cambridge Center benefitted the City of Cambridge and eventually by 2013 generated approximately \$15 million in annual property tax revenues and 7,500 jobs, goals set by the Cambridge City Council for the amended Kendall Square Urban Renewal Plan.

Whereas, the CRA performed redevelopment operations in the Wellington-Harrington Urban Renewal Area which helped to improve and stabilize the area by working with property owners to help rehabilitate their properties, including the use of resources provided by the Just-A-Start program, carrying out spot clearance of blighted properties, and providing cleared land for construction of housing and public and private improvements; and in the Walden Square Urban Renewal Area which promoted development of housing.

IT IS HEREBY RESOLVED THAT THE Cambridge Redevelopment Authority respectfully acknowledges the extraordinary efforts and accomplishments of Mr. Robert F. Rowland as Executive Director from 1964 until his resignation in 1982.



Contracting, Personnel, and General Administration

The CRA office is nearly fully operational with a few technological kinks to be worked through. The CRA remains fixed to the CDD website for the time being while I build another website on the Google Office system, that is also our email and file sharing host. I have established a Twitter account, primarily for another means of meeting announcements and I would be interested to discuss what other functions social media may play towards our public communication strategy.

Kathryn Madden began her employment with the CRA on May 29th, working on the Strategic Plan for the next six months on a part-time basis. The audit firm of Roselli, Clark and Associates has begun their 'field work' in our office this week and have been coordinating with Kevin Gookin at CDD as well. It is expected that this process will provide some helpful recommendations toward our past and current business practices and operational policies. We have been working with various state and local agencies to get a full understanding of ongoing payroll obligations the CRA and some of these costs are an element of the draft budget revisions currently under review.

I attempted to reserve the Police Station Community Room for our Board meetings for the entire year on the third Wednesday, however the room is not available at our usual date and time in August, September, or November. I propose that the August meeting be rescheduled for August 14th at this same location. I am still researching the options for alternative times or locations for the September and November Board meetings.

Policies and Procedures

Last month I had listed a number of policies I am working to revise and discuss with Board members. I was able to meet with each of the established committees and initiate some of these policy discussions and would like to establish consistent meetings of each group, however I understand that this may be difficult to implement during the summer. I had also suggested creating a 'forward calendar' to track upcoming topics for Board meetings. For now, I will have included a draft list within this Report and welcome other items or revisions to the outline below.

July	August	September
Revised Budget	Audit Report	Procurement Policy
K2 PUD Zoning	Signage Review Procedure	Investment Policy
KSURP Amendment	Personnel Policy	Records Management Protocol
Point Park Land Transfers	Infrastructure Update	E.C. Open Space Planning
Microsoft Signage	3, 4 & 5 Cambridge Center Signs	-----
Strategic Planning	Strategic Planning	Strategic Planning

As you may have noticed, a single Board packet document has been developed for website posting rather than multiple supporting documents. I will be working with CDD staff to standardize this format for the past meetings as well.

Planning, Development, and Infrastructure Projects

The Design Review Committee participated in two tours of Boston Property projects over the past month. The first was for 17 Cambridge Center / 300 Binney Street, a 190,000 square foot office and research building for Biogen. The second was for the Google Connector buildings between Three, Four, and Five Cambridge Center. These walk through tours provide the committee and staff an opportunity to verify that the improvements to the parcels are substantially complete per their relevant disposition agreements. A Certificate of Completion from the CRA and Occupancy Permits from ISD have been issued for 300 Binney St. The next step for the Google Connector buildings has been brought before the Board for discussion.

Within this same project, the Zoning Board of Appeals is holding a hearing on Thursday June 27th to consider issuing a Special Permit to Clover Fast Food Inc. to operate a fast food restaurant at Five Cambridge Center, per the requirements of the KSURP and MXD zoning.

Three members of the Board and myself participated in a walking tour of the Sullivan Courthouse and the neighboring public parking garage on May 30th, to learn about the current reuse proposal for the courthouse and the design alternative developed by the East Cambridge Planning Committee. I suggest that the CRA continue discussions with the City of Cambridge to explore if there is a role for the tools of the redevelopment authority at this point, or potentially in the future of this site.

The CRA, City staff, and Boston Properties are meeting on June 25th to review the details of a proposed land swap at Point Park, to provide right-of-way for the enhance Third and Main Streets connection. DPW expects to begin the streetscape work on Main Street in the fall.

The Broad Expansion project has topped off, and is moving ahead toward a January 2014 completion date. Construction has begun on the south side of Broadway, including full replacement of the brick sidewalk on Parcel Four. Greenscape has begun their landscape work of the tot lot on the corner of Main and Binney this week. The concrete base of the gazebo structure appeared difficult to extract and their recommendation was to keep the structure and provide minimal landscaping around it.

I have had a series of informative zoning meetings with CDD staff to understand the PUD proposal for the MXD district and have asked CDD to engage in a discussion with the Board on the zoning proposal next month. I have been conducting an inventory of both the development square footage and related open space requirements under the MXD and Kendall Square Urban Renewal Plan in preparation for those discussions as well and any zoning modifications needed for the Ames St Housing project.

I have also initiated a deed review and mapping exercise of the CRA property holding citywide. Beyond the known properties in the Kendall Square area, the Assessor records indicated additional holdings within and around the Volpe site as well as numerous remnant parcels throughout the city. I will provide updates on this effort as the results of survey become available.

2:59 PM

06/06/13

Accrual Basis

Cambridge Redevelopment Authority
Trial Balance (Unaudited)
As of May 31, 2013

	May 31, 13	
	Debit	Credit
ECSB CD 3678471	804,660.25	
ECSB CD #3679008	1,903,147.91	
East Cambridge SB Adv Sav .4%	554,727.06	
Eastern Bank CD .2% 3 /13	250,297.38	
Cambridge Trust CD Var. 10/14	251,187.04	
East Boston S B Mon Mark 1.2%	2,014,094.90	
ECSB CD 3553088 .75% 6/13	0.00	
Brookline Checking Account	10.00	
Winter Hill Bank CD .55% 6/13	206,365.00	
First Commons Bk 15 MO 1.5% 311	0.00	
Brookline Bank 15MO .95 9/13	259,613.27	
East Camb SB 3509270 .60% 12/12	0.00	
Bank of America CD 1% 4/10	0.00	
Cambridge Savings Bk 1% 12/13	157,203.25	
CDARS .45% 12/10	0.00	
Treasury Direct 13 wks	0.00	
Treasury Direct 26 wks M 2/08	0.00	
Leader Bank CD 1% M 02/14	252,767.48	
Cambridge Savings 1% 2/15	2,015,091.70	
East Camb CD 3169885 1% 3/14	0.00	
Boston Private Bk 3.82 8/08	0.00	
Boston Private Bk .4% 3/13	252,691.77	
Citizens Bank Sweep	0.00	
Boston Private Bank & Trust Co.	5,033.19	
Cambridge Savings	0.00	
Cambridge Trust	38,732.34	
Checking-Citizens Bank	184,997.24	
Money Market-Cambridge Savings	11,067.18	
Petty Cash	100.19	
Advance to KSA	2,500.00	
Accounts Receivable	1,673.98	
Other receivables	0.00	
Prepaid expenses	526.02	
Property & Equipment	14,972.15	
Property & Equipment:Land	249,724.92	
Property & Equipment:Land:Net Assets		881,488.20
Earned Fringe Benefit	3,506.89	
Accumulated Depreciation		14,972.15
Security Deposit	6,805.83	
Accounts Payable		3,820.64
Mastercard2033		1,420.30
Additional 2010 GFA Deposit	0.00	
Post Employment Bene Obligation		245,437.00
Deposit Galaxy Park Repairs/Ins		1,166.52
Deposit Held Parcel 2	0.00	
Direct Deposit Liabilities	0.00	
Payroll Liability	0.00	
Line of Credit-Camb. Svgs Bank	0.00	
Deferred Costs	0.00	
Accrued expenses	0.00	
Credit Union	0.00	
Deposits held Parcel 3 & 4		4,354.00
Payroll Liabilities		51.46
Payroll Liabilities:Vision WH	47.92	
Payroll Liabilities:Def Comp WH	0.00	
Payroll Liabilities:Dental WH	300.35	
Payroll Liabilities:Federal WH	0.00	
Payroll Liabilities:Medical 1	146.32	
Payroll Liabilities:Medical 2	145.47	
Payroll Liabilities:Medicare	0.00	
Payroll Liabilities:Misc WH	0.00	
Payroll Liabilities:Retire WH		544.17
Payroll Liabilities:State WH		444.51
Prepaid rental income	0.00	

2:59 PM
06/06/13
Accrual Basis

Cambridge Redevelopment Authority
Trial Balance (Unaudited)
As of May 31, 2013

	May 31, 13	
	Debit	Credit
Deferred Compensation		3,506.89
Opening Bal Equity		467,111.47
Retained Earnings		8,179,184.91
Reimbursed Expenses		56.00
Conference Costs	775.82	
Computer Expense	71.12	
Payroll Expenses	589.43	
Payroll Expenses:Salaries	9,461.54	
Payroll Expenses:Payroll taxes	595.33	
Payroll Expenses:Payroll taxes:Medicare	137.19	
Payroll Expenses:Benefits:Insurance-Medical	71,686.86	
Bank Service Charges	1,475.30	
Dues and Subscriptions	600.00	
Equipment Rental	4,265.76	
Insurance:Liability Insurance	4,290.25	
Miscellaneous	303.37	
Office Expenses	4,319.12	
Printing and Reproduction	411.05	
Professional Fees:Accounting	4,250.00	
Professional Fees:Consulting	17,791.13	
Professional Fees:Legal Fees	204,537.98	
Professional Fees:Survey & Planning	3,948.75	
Property Manage.	4,006.00	
Rent	27,097.98	
Telephone	4,601.71	
Travel & Ent:Meals	0.00	
Utilities:Gas and Electric	1,060.51	
Interest Income		5,429.14
Other Expenses	574.16	
TOTAL	9,808,987.36	9,808,987.36

[illegible]

Cambridge Redevelopment Authority
CASH FLOW
2013

6/6/13	Jan 13	Feb 13	Mar 13	Apr 13	May-13	Jun-13	Jul-13	Aug-13	Sep-13	Oct-13	Nov-13	Dec-13	TOTAL
Beginning Cash	9,538,058.37	9,471,224.17	9,402,814.68	9,324,030.08	9,281,881.72	9,204,313.10	9,114,048.16	9,027,818.12	8,941,588.08	8,854,483.04	8,768,253.00	8,682,022.96	\$9,538,058.37
Income													
Land Proceeds	0.00	0.00	0.00	0.00	0.00	0	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Grants	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Reimbursed Expenses	0.00	56.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	56.00
Rental Income	0.00	0.00	0.00	0.00	0.00	500.00	500.00	500.00	500.00	500.00	500.00	1,000.00	4,000.00
Interest Income	6,250.00 (a)	6,250.00 (a)	6,250.00 (a)	6,250.00 (a)	6,250.00 (a)	6,250.00	6,250.00	6,250.00	6,250.00	6,250.00	6,250.00	6,250.00	75,000.00
Total Income	6,250.00	6,306.00	6,250.00	6,250.00	6,250.00	6,750.00	6,750.00	6,750.00	6,750.00	6,750.00	6,750.00	7,250.00	79,056.00
Total Cash	9,544,308.37	9,477,530.17	9,409,064.68	9,330,280.08	9,288,131.72	9,211,063.10	9,120,798.16	9,034,568.12	8,948,338.08	8,861,233.04	8,775,003.00	8,689,272.96	9,617,114.37
Expense													
Conference Costs	0.00	0.00	775.82	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	775.82
Total Computer Expense	0.00	0.00	8.48	0.00	0.00	625	0.00	0.00	625.00	0.00	0.00	625.00	1,883.48
Payroll Expenses													
Salaries	0.00	0.00	0.00	0.00	9,461.54	12,500.00	12,500.00	12,500.00	12,500.00	12,500.00	12,500.00	12,500.00	96,961.54
Payroll taxes													
Unemployment	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Medicare	0.00	0.00	0.00	0.00	137.19	0.00	0.00	0.00	0.00	0.00	0.00	0.00	137.19
Payroll taxes - Other	0.00	0.00	300.86	294.47	589.43	166.66	166.66	166.66	166.66	166.66	166.66	166.72	2,351.44
Total Payroll taxes	0.00	0.00	300.86	294.47	726.62	166.66	166.66	166.66	166.66	166.66	166.66	166.72	2,488.63
Benefits													
T Pass Subsidy	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Retirement													0.00
Insurance-Medical	0.00	26,198.52	0.00	23,268.60	22,219.74	6,666.66	6,666.66	6,666.66	6,666.66	6,666.66	6,666.66	6,666.72	118,353.54
Insurance-Dental	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Disability Insurance	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total Benefits	0.00	26,198.52	0.00	23,268.60	22,219.74	6,666.66	6,666.66	6,666.66	6,666.66	6,666.66	6,666.66	6,666.72	118,353.54
Payroll Expenses - Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total Payroll Expenses	0.00	26,198.52	300.86	23,563.07	32,407.90	19,333.32	19,333.32	19,333.32	19,333.32	19,333.32	19,333.32	19,333.44	217,803.71
Bank Service Charges	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Contract Labor	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Contributions	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Dues and Subscriptions	0.00	0.00	0.00	600.00	0.00	200.00	0.00	0.00	0.00	0.00	0.00	0.00	800.00
Equipment Rental	1,623.43	576.95	811.48	676.95	576.95	2,376.57	0.00	0.00	0.00	0.00	0.00	0.00	6,642.33
Insurance													
Liability Insurance	1,654.00	0.00	2,636.25	0.00	0.00	1,122.36	1,122.36	1,122.36	1,122.36	1,122.36	1,122.36	1,122.40	12,146.81
Insurance - Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total Insurance	1,654.00	0.00	2,636.25	0.00	0.00	1,122.36	1,122.36	1,122.36	1,122.36	1,122.36	1,122.36	1,122.40	12,146.81
Interest Expense													
Developmentment Dep.Interest	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Interest Expense - Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total Interest Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Miscellaneous													
Office Supplies	0.00	0.00	0.00	0.00	61.47	0.00	0.00	0.00	0.00	0.00	0.00	0.00	61.47
Office Expenses	0.00	0.00	0.00	0.00	0.00	250.00	0.00	0.00	250.00	0.00	0.00	250.00	750.00
Postage and Delivery	-63.98	3,128.26	421.06	416.89	416.89	861.11	861.11	861.11	861.11	861.11	861.11	925.10	10,410.88
Printing and Reproduction	0.00	0.00	0.00	0.00	0.00	333.33	0.00	0.00	0.00	0.00	0.00	333.34	666.67
Professional Fees													
Accounting	69.00	69.00	135.05	69.00	69.00	47.88	47.88	47.88	47.88	47.88	47.88	47.96	746.29
Consulting	0.00	0.00	4,250.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	15,000.00	19,250.00
Legal Fees	11,000.00	0.00	5,550.63	0.00	1,240.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	17,791.13
Survey & Planning	44,088.94	37,581.08	67,871.22	10,811.81	44,184.93	41,446.46	41,446.46	41,446.46	41,446.46	41,446.46	41,446.46	41,446.46	494,663.20
Professional Fees - Other	2,668.75	0.00	0.00	1,280.00	0.00	18,757.38	18,757.38	18,757.38	18,757.38	18,757.38	18,757.38	18,757.45	135,250.48
Total Professional Fees	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Property Manage.	57,757.69	37,581.08	77,671.85	12,091.81	45,425.43	60,203.84	60,203.84	60,203.84	60,203.84	60,203.84	60,203.84	75,203.91	666,954.81
Rent	1,182.00	1,511.00	920.00	262.00	131.00	5,983.45	5,983.45	5,983.45	5,983.45	5,983.45	5,983.45	5,983.50	45,890.20
Other Expenses	9,032.66	4,516.33	0.00	9,032.66	4,516.33	4,178.85	4,178.85	4,178.85	4,178.85	4,178.85	4,178.85	4,178.84	56,349.92
Marketing	-29.02	215.00	0.00	368.93	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	554.91
Total	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Telephone	1,520.80	738.40	1,327.61	979.16	35.74	770.83	770.83	770.83	770.83	770.83	770.83	770.90	9,997.59
Travel & Ent													0.00

Cambridge Redevelopment Authority
CASH FLOW
2013

6/6/13

	Jan 13	Feb 13	Mar 13	Apr 13	May-13	Jun-13	Jul-13	Aug-13	Sep-13	Oct-13	Nov-13	Dec-13	TOTAL
Holiday Event	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Meals	0.00	0.00	0.00	0.00	0.00	250.00	0.00	0.00	0.00	0.00	0.00	0.00	250.00
Travel	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Travel & Ent - Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total Travel & Ent	0.00	0.00	0.00	0.00	0.00	250.00	0.00	0.00	0.00	0.00	0.00	0.00	250.00
Utilities													
Gas and Electric	337.62	180.95	26.14	337.89	177.91	478.40	478.40	478.40	478.40	478.40	478.40	478.38	4,409.29
Water	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Utilities - Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total Utilities	337.62	180.95	26.14	337.89	177.91	478.40	478.40	478.40	478.40	478.40	478.40	478.38	4,409.29
Total Expense	73,084.20	74,715.49	85,034.60	48,398.36	83,818.62	97,014.94	92,980.04	92,980.04	93,855.04	92,980.04	92,980.04	109,252.77	1,037,094.18
Ending Cash	9,471,224.17	9,402,814.68	9,324,030.08	9,281,881.72	9,204,313.10	9,114,048.16	9,027,818.12	8,941,588.08	8,854,483.04	8,768,253.00	8,682,022.96	8,580,020.19	8,580,020.19

THE GASB 45 OPEB ACCRUAL IS AT \$245,437 A/O 12/31/2011. IT WILL NEED TO BE FUNDED.
POST EMPLOYMENT BENEFITS OTHER THAN PENSION - MAINLY HEALTH INSURANCE.

(a) Estimate

CAMBRIDGE REDEVELOPMENT AUTHORITY

	Forecast 05 2013	2013	
	TOTAL	BUDGET	VARIANCE
PREPARED 06/06/13	5/31/13	1/1/13	
Income			
Land Proceeds	0.00	0.00	0.00
Grants	0.00	0.00	0.00
Reimbursed Expenses	56.00	0.00	(56.00)
Rental Income	4,000.00	6,000.00	2,000.00
Interest Income	75,000.00	75,000.00	0.00
Total Income	79,056.00	81,000.00	1,944.00
Expense			
Conference Costs	775.82	0.00	(775.82)
Total Computer Expense	1,883.48	2,500.00	616.52
Payroll Expenses			
Salaries	96,961.54	112,500.00	15,538.46
Payroll taxes			
Unemployment	0.00	0.00	0.00
Medicare	137.19	0.00	(137.19)
Payroll taxes - Other	2,351.44	1,500.00	(851.44)
Total Payroll taxes	2,488.63	1,500.00	(988.63)
Benefits			
T Pass Subsidy	0.00	0.00	0.00
Retirement	137.19	0.00	(137.19)
Insurance-Medical	118,353.54	0.00	(118,353.54)
Insurance-Dental	0.00	0.00	0.00
Disability Insurance	0.00	0.00	0.00
Total Benefits	118,353.54	60,000.00	(58,353.54)
Payroll Expenses - Other	0.00	0.00	0.00
Total Payroll Expenses	217,803.71	174,000.00	(43,803.71)
Bank Service Charges	0.00	0.00	0.00
Contract Labor	0.00	0.00	0.00
Contributions	0.00	0.00	0.00
Dues and Subscriptions	800.00	200.00	(600.00)
Equipment Rental	6,642.33	4,000.00	(2,642.33)
Insurance			
Liability Insurance	12,146.81	14,000.00	1,853.19
Insurance - Other	0.00	0.00	0.00
Total Insurance	12,146.81	14,000.00	1,853.19
Interest Expense			
Developmentment Dep.Interest	0.00	0.00	0.00
Interest Expense - Other	0.00	0.00	0.00
Total Interest Expense	0.00	0.00	0.00
Miscellaneous	61.47	0.00	(61.47)
Office Supplies	750.00	1,000.00	250.00
Office Expenses	10,410.88	7,750.00	(2,660.88)
Postage and Delivery	666.67	1,000.00	333.33
Printing and Reproduction	746.29	500.00	(246.29)
Professional Fees			

CAMBRIDGE REDEVELOPMENT AUTHORITY

	Forecast 05 2013	2013	
	<u>TOTAL</u>	<u>BUDGET</u>	<u>VARIANCE</u>
PREPARED 06/06/13	5/31/13	1/1/13	
Accounting	19,250.00	15,000.00	(4,250.00)
Consulting	17,791.13	0.00	(17,791.13)
Legal Fees	494,663.20	500,000.00	5,336.80
Survey & Planning	135,250.48	220,000.00	84,749.52
Total Professional Fees	666,954.81	735,000.00	68,045.19
Property Manage.	45,890.20	67,000.00	21,109.80
Rent	56,349.92	55,000.00	(1,349.92)
Other Expenses	554.91	0.00	(554.91)
Marketing	0.00	0.00	0.00
Telephone	9,997.59	10,000.00	2.41
Travel & Ent	0.00	0.00	0.00
Holiday Event	0.00	0.00	0.00
Meals	250.00	250.00	0.00
Travel	0.00	0.00	0.00
Travel & Ent - Other	0.00	0.00	0.00
Total Travel & Ent	250.00	250.00	0.00
Utilities			
Gas and Electric	4,409.29	5,600.00	1,190.71
Water	0.00	0.00	0.00
Utilities - Other	0.00	0.00	0.00
Total Utilities	4,409.29	5,600.00	1,190.71
Total Expense	1,037,094.18	1,077,800.00	40,705.82

Cambridge Redevelopment Authority

One Cambridge Center/Fourth Floor
Cambridge, Massachusetts 02142
617 492-6800
617 492-6804 (FAX)



June 17, 2013

Chris Bator
Treasurer, Cambridge Redevelopment Authority

Re: 2013 Budget Revisions

Dear Mr. Bator,

Please find enclosed a draft spreadsheet of proposed revisions to the CRA 2013 budget. There are five main reasons for amending the budget:

- Recognizing income related to the development at 17 Cambridge Center and 3,4, & 5 Cambridge Center
- Covering unanticipated personnel costs related to benefits for CRA past employees
- Hiring Kathryn Madden as an employee rather than a personal service contractor
- Providing the authorization to offer stipends for potential interns
- Refining office and contract costs based on more complete information and operational changes

I am still trying to get a full picture on some of the outstanding obligations and look forward to the results of the audit currently underway. This will let me finalize the budget revision for next month. While the operating budget will higher than originally approved, many of these costs are related to the current CRA transition period. Feel free to contact me should you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "Thomas L. Evans".

Thomas L. Evans
Executive Redevelopment Officer
Cambridge Redevelopment Authority

DRAFT 2013 Budget Revisions
CAMBRIDGE REDEVELOPMENT AUTHORITY

	Forecast 05 2013	2013		Jun-13		
	TOTAL	BUDGET	VARIANCE	Proposed Revision	Change	Notes
PREPARED 06/06/13	5/31/13	1/1/13				
Income						
Land Proceeds	0.00	0.00	0.00	2,329,326.20	2,329,326.20	Payments from BP for 3/4/5 Cambridge Center and 300 Binney
Grants	0.00	0.00	0.00	0.00	0.00	
Reimbursed Expenses	56.00	0.00	(56.00)	0.00	0.00	
Rental Income	4,000.00	6,000.00	2,000.00	6,000.00	0.00	
Interest Income	75,000.00	75,000.00	0.00	75,000.00	0.00	
Total Income	79,056.00	81,000.00	1,944.00	2,410,326.20	2329326.20	
Expense						
Conference Costs	775.82	0.00	(775.82)	776.00	776.00	Room rental from Marriot for CRA mtg
Total Computer Expense	1,883.48	2,500.00	616.52	3000	500.00	software and subscriptions
Payroll Expenses						
Salaries	96,961.54	112,500.00	15,538.46	137,500	25,000	Madden hired as employee
Payroll taxes						
Unemployment	0.00	0.00	0.00	22,220.00	22,220.00	
Medicare	137.19	0.00	(137.19)	200	200.00	Payments for past employees
Payroll taxes - Other	2,351.44	1,500.00	(851.44)	7200	5,700.00	Payments for 2012
Total Payroll taxes	2,488.63	1,500.00	(988.63)			
Benefits						
T Pass Subsidy	0.00	0.00	0.00	1015	1015	
Retirement	137.19	0.00	(137.19)	23,500	23,500	
Insurance-Medical	118,353.54	0.00	(118,353.54)	150000	150,000.00	Payments for previous staff benfits to GIC
Insurance-Dental	0.00	0.00	0.00	0.00	0.00	
Disability Insurance	0.00	0.00	0.00	0	0	
Total Benefits	118,353.54	60,000.00	(58,353.54)	173,500	113,500.00	
Payroll Expenses - Other	0.00	0.00	0.00	0.00	0.00	
Total Payroll Expenses	217,803.71	174,000.00	(43,803.71)	518,911.00	344,911.00	
Bank Service Charges	0.00	0.00	0.00	50	50.00	
Contract Labor	0.00	0.00	0.00	2000	2,000.00	Minor work in office
Contributions	0.00	0.00	0.00	0	0	
Dues and Subscriptions	800.00	200.00	(600.00)	600	400.00	
Equipment Rental	6,642.33	4,000.00	(2,642.33)	7,722.33	3722.33	Office equipment under long-term lease
Insurance						
Liability Insurance	12,146.81	14,000.00	1,853.19	14,000.00	0	
Insurance - Other	0.00	0.00	0.00	0.00	0.00	
Total Insurance	12,146.81	14,000.00	1,853.19	14,000.00	0	
Interest Expense						
Developmentment Dep.Interest	0.00	0.00	0.00			
Interest Expense - Other	0.00	0.00	0.00			
Total Interest Expense	0.00	0.00	0.00			
Miscellaneous	61.47	0.00	(61.47)	100.00	100.00	
Office Supplies	750.00	1,000.00	250.00	1,000.00	0.00	
Office Expenses	10,410.88	7,750.00	(2,660.88)	10,500.00	2,750.00	

CAMBRIDGE REDEVELOPMENT AUTHORITY

	Forecast 05 2013	2013		Jun-13		
	TOTAL	BUDGET	VARIANCE	Proposed Revision	Change	Notes
PREPARED 06/06/13	5/31/13	1/1/13				
Postage and Delivery	666.67	1,000.00	333.33	700.00	(300.00)	Postage machine has credit
Printing and Reproduction	746.29	500.00	(246.29)	750.00	250.00	Existing printing contract with copier lease
Professional Fees						
Accounting	19,250.00	15,000.00	(4,250.00)	20,000.00	5,000.00	Conducting 2010 audit
Consulting	17,791.13	0.00	(17,791.13)	10,000.00	10,000.00	
Legal Fees	494,663.20	500,000.00	5,336.80	500,000.00	0.00	
Survey & Planning	135,250.48	220,000.00	84,749.52	64,000.00	(156,000.00)	Madden hired as employee
Total Professional Fees	666,954.81	735,000.00	68,045.19	607,050.00	(127,950.00)	
Property Manage.	45,890.20	67,000.00	21,109.80	40000	-27,000.00	Past budget reflected other properties
Rent	56,349.92	55,000.00	(1,349.92)	55,000.00	0	
Other Expenses	554.91	0.00	(554.91)	1000	1,000.00	
Marketing	0.00	0.00	0.00	0	0	
Telephone	9,997.59	10,000.00	2.41	7200	-2,800.00	Reduced Verizon plan
Travel & Ent	0.00	0.00	0.00	0	0	
Holiday Event	0.00	0.00	0.00	0	0	
Meals	250.00	250.00	0.00	250.00	0	
Travel	0.00	0.00	0.00	0	0	
Travel & Ent - Other	0.00	0.00	0.00	0.00	0.00	
Total Travel & Ent	250.00	250.00	0.00	250	0	
Utilities						
Gas and Electric	4,409.29	5,600.00	1,190.71	5,600.00	0	
Water	0.00	0.00	0.00	0.00	0	
Utilities - Other	0.00	0.00	0.00	0.00	0.00	
Total Utilities	4,409.29	5,600.00	1,190.71	5,600.00	0.00	
Total Office Expenses	83,392.11	80,850.00	-2,542.11	80,850.00	0.00	
Total Expense	1,037,094.18	1,077,800.00	40,705.82	1,277,033.33	196,133.33	

Cambridge Redevelopment Authority

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617 492-6801
617 492-6804 (FAX)



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- Whereas: In 1963 Robert F. Rowland, then a professional urban planner, brought to the Cambridge Redevelopment Authority (CRA) board his vision for transforming the 43-acre blighted area north of the MBTA Kendall Square Red Line rapid transit station; and
- Whereas: When Mr. Rowland presented his concept plan for redevelopment to the CRA in 1964, the board asked him to work with the CRA to move the plan through the redevelopment process; and
- Whereas: Mr. Rowland was appointed Executive Director of the CRA in 1964; and
- Whereas: Under Mr. Rowland's leadership, the CRA assembled the staff and consultants needed to begin the transformation of 43 acres of urban blight; and
- Whereas: During his tenure as Executive Director, the CRA successfully met the many complicated challenges associated with this major mixed-use redevelopment project, from removing legal impediments to land transfer, to accomplishing a \$7 million public improvements program, to selecting Boston Properties as developer of Cambridge Center; and
- Whereas: By 2013, the vision, judgment, and hard work that laid the groundwork for the future success of the Kendall Square redevelopment project had manifested itself in approximately \$15 million additional tax revenues and approximately 7,500 new jobs; and
- Whereas: Mr. Rowland retired from the Cambridge Redevelopment Authority in 1982; now therefore be it
- Resolved: That the Cambridge Redevelopment Authority does hereby respectfully and gratefully acknowledge the extraordinary accomplishments of Mr. Robert F. Rowland as Executive Director of the Cambridge Redevelopment Authority from 1964 to 1982.

ON-SITE TOUR REVIEW NOTES

Google Connector Buildings: Substantial Construction Completion
June 13, 2013

Attending: Kathy Born (CRA), Barry Zevin (CRA), Tom Evans (CRA), Kevin Sheehan (BP), Mike Bowers (BP), David Manfredi (EM), Steve Dube (EM), Roger Boothe (CCDD), and Larry Bluestone (BPG)

Notes Submitted By: Larry Bluestone, June 15, 2013

On 13 June 2013, the CRA's and the City's design review team met with Boston Properties (BP), and Elkus Manfredi (EM) for an on-site substantial construction completion review of the two Google Connector buildings (CC3-CC5, and the rooftop CC4-CC5) and the expanded retail space at CC 5 on Main Street adjacent to Legal Seafoods.

BP is the developer of the Connector Buildings, will continue to be the buildings' owner, and will lease the Connectors to Google. The ground floor Arcade of the CC3-CC5 Connector will be leased to several retail or restaurant tenants. BP is constructing the Core and Shell for Google. Google will be completing interiors and fit out construction.

Within a couple of weeks, core and shell construction will be completed and BP will then seek a temporary occupancy permit from the City for both Connector Buildings, the expanded retail space at the front of CC5, as well as the reconstruction of the outdoor pedestrian passage behind CC5. At that time, BP will hand off the Connectors to Google to complete interior fit-out. Fit-out of the retail spaces within the Arcade will occur when retail tenants are identified and leases signed with BP.

1. Expanded CC5 Retail Storefront

BP has substantially completed the shell and core construction of the expanded retail space at the front of CC5. BP is now negotiating with Clover to open a restaurant venue there. As a fast-food establishment, Clover has applied for a Special Permit from the Cambridge Zoning Board of Appeals. BP has constructed exhaust venting ductwork into their core and shell design in anticipation of a restaurant tenant..

2. CC3-CC5 Connector Building Ground Floor Arcade

The design review team toured the ground floor Arcade of the CC3-CC5 Connector. The team did not tour the upper floors that will be occupied by Google.

Core and Shell construction is substantially complete in the public arcade, retail storefronts, and the CC5 office lobby to Google. Floors, glazed store fronts, and a substantial part of the animated electronic ceiling have all been completed. The entry doors and folding door storefront on Main have not yet been installed. Also the frame for the Arcade's front entry overhead canopy has been erected, but the canopy glazing has not yet been installed.

Since the last design submission was reviewed, BP was able to avoid constructing an egress corridor from the CC3 office lobby / egress stair through the Arcade with permission from the Commonwealth after further Code review. This has resulted in the Arcade being wider than designs originally showed. Mike Bowers pointed out that immediately behind the easterly Arcade wall, the Coop Bookstore in CC3 has large spandrel glass windows that are now blocked-off. Perhaps the

Coop Bookstore will now be willing to open these glass walls directly into the Arcade and replace the spandrel glass with a clear glass storefront system.

A design for the signage system for the Arcade (announcing the building address, prime tenants, and a wayfinding sign to the garage and rooftop park at the rear of the Arcade) has not yet been completed to BP's satisfaction. When BP receives a design it approves of, BP will submit the signage package to the Authority.

Temporary wayfinding signage to the roof garden and building identification signage has been installed within the arcade.

3. Outdoor Canopy Connecting Connector to CC4 Food Court and Garage Stair Tower

The outdoor covered canopy connecting the rear of the Arcade, the Food Court to the east, and the Garage stair tower is substantially complete. A planter bed has been constructed at the base of the garage stair tower so a green wall can be installed up the side of the stair tower. The green wall has not yet been installed.

The pedestrian outdoor passageway between CC5 and the garage is still under reconstruction requiring additional concrete work to address drainage issues.

4. CC3-CC5 Connector Building Connectors Review

The design team toured the rooftop park level first floor of the CC4-CC5 two-story Google Connector building. The Core and shell construction is substantially complete and a hole has been cut through the second floor so there can be a connecting stair installed later by Google between floors 1 and 2 as part of their fit-up designs. In a couple of weeks, BP will hand over the core and shell completed CC4-CC5 Connector building to Google who will then complete fit-out and interiors.

Outside the Connector, most of the walkway and landscape modifications to the rooftop public park have been completed. Outside to the west of the Connector, the foundations for the private rooftop garden area have been completed, but landscaping has not yet been installed.

5. Google's Connector Buildings Interior Fit-Out Preliminary Designs

After the tour, the design team met with BP at their offices to informally review Google's current preliminary interior designs for both Connector buildings. These designs are not final and are subject to change by Google; however, it is the understanding of Boston Properties that these designs represent Google's current intentions regarding the use of the space.

The CC4-CC5 interior designs showed an auditorium and two other meeting room spaces, plus lounge areas and kitchen areas on the first floor, and various working spaces on the second floor. As understood from earlier discussions, as park patrons look into Google's rooftop 1st floor space, they will largely see lounge areas. However, the interior designs are not as open as earlier represented, and there is only a very narrow space through which park patrons will be able to look entirely to the other side of the building. [The reception area would be on the 6th floor of CC5, based on Google's current plans. Not in the connector building.]

The CC3 – CC5 Connector's interior upper floor designs showed a variety of work spaces, a fitness center, restrooms, and other various small spaces.

Submitted by,
Larry Bluestone

ESCROW AGREEMENT

AGREEMENT made as of the 19th day of June, 2013 by and among the Cambridge Redevelopment Authority (the "Authority"), a public body, corporate and politic, duly organized and existing pursuant to the General Laws of Massachusetts, having its office at One Cambridge Center, Cambridge, Massachusetts 02142 and Boston Properties Limited Partnership ("BPLP"), a Delaware limited partnership, on behalf of the entities described below, having its office c/o Boston Properties, Inc. at 800 Boylston Street, Boston, Massachusetts.

WITNESSETH:

WHEREAS, by deed dated September 24, 1986 recorded with the Middlesex South District Registry of Deeds (the "Registry") in Book 17438, Page 104 (the "3CC Deed"), Three Cambridge Center Trust ("3CCT") is the owner of that certain property known as and numbered Three Cambridge Center, Cambridge, Massachusetts (the "3CC Property").

WHEREAS, by deed dated November 29, 2006 recorded with the Registry in Book 48591, Page 8 and filed with the Middlesex South Registry District of the Land Court (the "Registry District") as Document No. 228374 (the "4CC Deed"), BP Four CC LLC ("BP 4CC") is the owner of that certain property known as and numbered Four Cambridge Center, Cambridge, Massachusetts (the "4CC Property").

WHEREAS, by deed dated November 29, 2006 recorded with the Registry in Book 48590, Page 597 (the "5CC Deed") (the 3CC Deed, the 4CC Deed and the 5CC Deed

being sometimes hereinafter referred to collectively as the “Deeds”), BP Five CC LLC (“BP 5CC”) is the owner of that certain property known as and numbered Five Cambridge Center, Cambridge, Massachusetts (the “5CC Property”).

WHEREAS, BPLP is the sole beneficiary of 3CCT and the sole member of BP 4CC and BP 5CC, and on their behalf is constructing (i) a connector building containing approximately 16,353 square feet of gross floor area between the existing improvements located on the 3CC Property and the existing improvements located on the 5CC Property (the “3-5 Connector”) and (ii) a connector building containing approximately 25,542 square feet of gross floor area between the existing improvements located on the 4CC Property and the existing improvements located on the 5CC Property (the “4-5 Connector”) (the 3-5 Connector and the 4-5 Connector being hereinafter referred to collectively as the “Improvements”).

WHEREAS, 3CCT, BP 4CC and BP 5CC are required by the Deeds (as such Deeds are subject to all matters of record, including, without limitations, the original deeds from the Authority to the original owners of the properties) to obtain the approval of the Authority for the construction of the Improvements.

WHEREAS, BPLP has represented to the Authority that, except for those incomplete items of work (the “Work”) described in Exhibit A annexed hereto and made a part hereof, all of the Improvements have been completed in accordance with the plans previously submitted to and reviewed by the Authority;

WHEREAS, BPLP has requested that the Authority issue a certificate (the “Certificate of Completion”) certifying as to its approval of the completed Improvements, in accordance with the provisions of the Deeds; and

WHEREAS, the Authority would not agree to issue its Certificate of Completion unless BPLP agreed to make the escrow deposit and complete the Work under the terms and conditions of this Escrow Agreement;

NOW, THEREFORE, in consideration of these presents and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto agree as follows:

1. The Authority, by its execution of this Agreement, acknowledges receipt of an unconditional and irrevocable letter of credit (the “Letter of Credit”), in the face amount of Four Hundred Sixty-Two Thousand Five Hundred Fifty-Three and 20/100 Dollars (\$462,553.20) issued to the Authority by Bank of America, N.A. (the “Bank”), which Letter of Credit shall be held and disposed of in accordance with the provisions of this Agreement.

2. The Authority herewith delivers to BPLP its Certificate of Completion in the form of Exhibit B annexed hereto and made a part hereof, which Certificate of Completion BPLP shall be entitled to record.

3. BPLP hereby covenants and agrees to complete in a good and workmanlike manner, and in accordance with plans and specifications approved previously by the Authority pursuant to the Deeds and free and clear of any claims or

liens for labor or materials, on or before October 1, 2013, which date shall be automatically extended for such periods of time as the completion of the Work is delayed because of causes beyond BPLP's control and without its fault or negligence, including, but not restricted to, acts of God or of the public enemy, acts of the Government (including, without limitation, the delay or refusal of any governmental authority to issue permits, approvals and the like when the application therefor conforms to all legal requirements and is based upon plans approved by the Authority), acts of the Authority, fires, floods, epidemics, quarantine restrictions, strikes, freight embargoes, unusually severe weather, delays of contractors or subcontractors or materials shortages (such date, as it may be so extended, being hereinafter referred to as the "Completion Date"), the Work described in Exhibit A hereto. Upon completion of the Work as aforesaid, BPLP shall certify in writing to the Authority that the Work has been completed as aforesaid. Upon completion of the Work described in Exhibit A hereto, the Authority, promptly after receipt of such certification and the determination by the Authority that the Work has been completed, which determination shall not be unreasonably withheld or delayed, shall surrender the Letter of Credit to BPLP. If BPLP does not receive any objections in writing from the Authority to its certificate so certifying to completion of the Work within five (5) Business Days (hereinafter defined) after receipt by the Authority of such certifying party's completion certificate, then, for all purposes hereof, completion of the Work shall be deemed to have occurred. As used herein, "Business Days" shall mean a day when federally chartered banks in Boston, Massachusetts are open for business.

4. If there is a failure to complete the Work as aforesaid, the Authority shall have the right to convert that amount of the Letter of Credit attributable to the Work not completed by the Completion Date into cash (the "Cash Proceeds") and shall forthwith

return to BPLP the remainder of the Letter of Credit attributable to the Work completed by the Completion Date, but only upon the following terms and conditions:

(i) the Authority shall have the right, by written notice sent to BPLP to elect to complete or not to complete the Work. Failure of the Authority to send such notice within such forty-five (45) day period shall be deemed, for all purposes hereunder, an election by the Authority not to complete the Work. If the Authority shall elect to complete the Work or any part thereof, the Authority shall be entitled to the Cash Proceeds and, promptly upon its receipt thereof, shall commence and thereafter diligently prosecute such Work or part thereof to completion. In such circumstance, BPLP hereby grants to the Authority the right to enter upon the Land and Improvements in order to perform the Work. Upon completion of the Work, or any part thereof, the Authority shall certify to BPLP that it has completed the Work or such part thereof. The Authority shall have the right to retain, as liquidated damages, any portion of the Cash Proceeds not required in connection with the completion of the Work or portion thereof as aforesaid.

(ii) If the Authority shall elect or shall be deemed to have elected not to complete the Work, as aforesaid, and if, prior to the date on which the election shall have been made (or shall have been deemed to have been made) not to complete the Work, then, in such event only, the Cash Proceeds shall be paid over to the Authority and the Authority shall have the right to retain the amount thereof as liquidated damages for the failure of BPLP to fulfill its obligations hereunder.

5. If the Authority elects to perform the Work, BPLP shall indemnify the Authority and hold it harmless against any and all losses, liabilities, claims, damages and expenses, including reasonable attorneys' fees, arising from such performance (the "Performance Costs"). If the Cash Proceeds are less than the Performance Costs, BPLP shall pay to the Authority the amount of such deficiency within ten (10) days after demand therefor.

6. Any notice, communication or document, including the Letter of Credit, required or permitted to be given or delivered by any party hereunder shall be in writing and shall be deemed given or delivered when personally delivered or mailed by certified or registered first-class mail, postage prepaid, and

- (i) in the case of BPLP is addressed to BPLP c/o Boston Properties, Inc. at 800 Boylston Street, Suite 1900, Boston, Massachusetts 02199, Attention: Mr. Kevin Sheehan (with copies to Boston Properties, Inc., 800 Boylston Street, Suite 1900, Boston, Massachusetts 02199, Attention: Madeleine C. Timin, Esq.); and
- (ii) in the case of the Authority, is addressed to the Authority at One Cambridge Center, Cambridge, Massachusetts 02142, Attention: Kathleen L. Born, Chair; and to Foley Hoag LLP, 155 Seaport Boulevard, Boston, Massachusetts 02210, Attention: Jeffrey Mullan, Esquire;

or such changed address as the party to be notified shall have communicated in writing to the other party. Upon receipt by the Authority from the Mortgagee of its identity and address to which communications and notices are to be sent, the Mortgagee so named, for all purposes hereof, shall be treated as a party to this Agreement just as if it had been a party signatory to this Agreement on the date hereof.

7. This Agreement shall inure to the benefit of and bind the respective heirs, legal representatives, successors and assigns of the parties hereto and shall be construed and enforced in accordance with the laws of The Commonwealth of Massachusetts.

[signatures appear on next page]

IN WITNESS WHEREOF, this Agreement has been duly executed under seal by the parties as of the day and year first above written.

CAMBRIDGE REDEVELOPMENT AUTHORITY

By: _____
Name: Kathleen L. Born
Title: Board Chair

BOSTON PROPERTIES LIMITED
PARTNERSHIP

By: Boston Properties, Inc., its general partner

By: _____
Name: Michael A. Cantalupa
Title: Senior Vice President, Development

EXHIBIT A TO ESCROW AGREEMENT

REMAINING WORK

<i>Activity</i>	<i>Responsibility</i>	<i>Value</i>
3CC-5CC CONNECTOR		
Façade Tie-Ins - West		
Install silicon waterproofing at building corners (south)	IBG	\$ 2,750
Install metal panels and glass at brick/window tie ins	IBG	\$ 5,300
3CC-5CC 1ST FLOOR (ARCADE)		
Front Vestibule		
Install Metal Panels	IBG	\$ 4,286
Install vestibule metal panels	IBG	\$ 5,500
Canopy Glass	IBG	\$ 10,000
Rear Vestibule		
Install Metal Panels	IBG	\$ 5,500
All Glass Storefronts (3CC and 5CC entry)		
Install for metal panel surrounds at 3CC and 5CC entries	IBG	\$ 19,250
DMR Print Shop		
Install rear eyebrow metal panels	IBG	\$ 17,875
3CC LOBBY		
Demo existing vestibule	IBG	\$ 2,500
Complete drywall work in lobby	TJM	\$ 3,000
Install pink stone	Castelucci	\$ 3,000

Exhibit A

<i>Activity</i>	<i>Responsibility</i>	<i>Value</i>
4CC-5CC CONNECTOR		
Install 4-5 Green roof assembly	Commonwealth	\$ 170,000
Reconfigure existing pavers and landscape - East of connector	Valley Crest	\$ 2,300
Install new pavers and landscape - West of connector	Valley Crest	\$ 5,000
Reconfigure existing irrigation - West of connector	Valley Crest	\$ 2,500
Façade Tie-Ins - North		
Install metal panels and trim flashings	IBG	\$ 5,000
Install expansion joints	Commercial	\$ 8,000
Façade Tie-Ins - South		
Install new glass for existing windows being modified	IBG	\$ 3,500
Remove, rehab and reinstall curtainwall in Novartis Space	IBB	\$ 3,500
Install metal panels over tube with angle	IBG	\$ 4,000
Install expansion joints	Commercial	\$ 4,000
ALLEY ZONE 1 - EAST OF 4-7 LINE		
Rear Canopy		
Install Balance of metal panels	IBG	\$ 850
Install vines at Green Screen	Valley Crest	\$ 1,000
Install mulch at Green Screen	Valley Crest	\$ 250

Exhibit A

<i>Activity</i>	<i>Responsibility</i>	<i>Value</i>
ALLEY ZONE 2 - WEST OF 4-7 LINE		
Install plantings at Plant Bed	Valley Crest	\$ 15,000
Sidewalk/Paver Underslab Pour B2 (H-F Line)		
Form and Place Mesh for Concrete sidewalk	Marguerite	\$ 1,500
Pour Sidewalk	Marguerite	\$ 3,500
Strip	Marguerite	\$ 1,000
Sidewalk/Paver Underslab Pour C (F-D Line)		
Form and Place Mesh for Concrete sidewalk	Marguerite	\$ 1,500
Pour Sidewalk	Marguerite	\$ 3,500
Strip	Marguerite	\$ 1,000
Sidewalk/Paver Underslab Pour D (D-B Line)		
Form and Place Mesh for Concrete sidewalk	Marguerite	\$ 1,500
Pour Sidewalk	Marguerite	\$ 3,500
Strip	Marguerite	\$ 1,000
Sidewalk/Paver Underslab Pour E (B - Property Line)		
Form and Place Mesh for Concrete sidewalk	Marguerite	\$ 1,500
Pour Sidewalk	Marguerite	\$ 3,500
Strip	Marguerite	\$ 1,000
New Brick Paver Install		
Layout and install bituminous setting bed - 1-1/2" - Section E	Valley Crest	\$ 5,200
Install Pavers Section E (B - Property Line)	Valley Crest	\$ 5,200
Layout and install bituminous setting bed - 1-1/2" - Section D	Valley Crest	\$ 5,200
Install Pavers Section D (D-B Line)	Valley Crest	\$ 5,200
Layout and install bituminous setting bed - 1-1/2" - Section C	Valley Crest	\$ 5,200
Install Pavers Section C (F-D Line)	Valley Crest	\$ 5,200
Layout and install bituminous setting bed - 1-1/2" - Section B	Valley Crest	\$ 5,200
Install Pavers Section B (H-F Line)	Valley Crest	\$ 5,200
Layout and install bituminous setting bed - 1-1/2" - Section A	Valley Crest	\$ 5,200
Install Pavers Section A (J-H Line)	Valley Crest	\$ 5,200
Bike Rack Install	JF Stearns	\$ 5,600
	Subtotal	\$ 385,461

Exhibit A

EXHIBIT B TO ESCROW AGREEMENT

CERTIFICATE OF COMPLETION

CAMBRIDGE REDEVELOPMENT AUTHORITY, a public body, politic and corporate, duly organized and existing pursuant to the General Laws of Massachusetts, as amended, and having its principal office at One Cambridge Center in the City of Cambridge, Middlesex County, Massachusetts, DOES HEREBY CERTIFY that it approves of the improvements completed by Boston Properties Limited Partnership on the properties known as and numbered Three Cambridge Center, Four Cambridge Center and Five Cambridge Center, Cambridge, Massachusetts.

IN WITNESS WHEREOF said CAMBRIDGE REDEVELOPMENT AUTHORITY has caused this CERTIFICATE to be executed and its seal to be hereto affixed by its officers thereunto duly authorized, as of the 19th day of June, 2013.

ATTEST:

CAMBRIDGE REDEVELOPMENT
AUTHORITY

Thomas L. Evans
Executive Redevelopment Officer

By: _____
Name: Kathleen L. Born
Title: Board Chair

Exhibit B

COMMONWEALTH OF MASSACHUSETTS

_____, ss.

June __, 2013

On this __ day of June, before me, the undersigned notary public, personally appeared _____, proved to me through satisfactory evidence of identification, which were _____, to be the person whose name is signed on the preceding and acknowledged to me that he/she signed it voluntarily for its stated purpose as _____ for the Cambridge Redevelopment Authority.

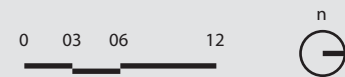
Notary Public
My Commission Expires:

Exhibit B



75 ames street
Cambridge, Massachusetts

Exterior Signage
june 6, 2013



ELKUS | MANFREDI
ARCHITECTS

THE L
AD
UTE



 **BROAD**
INSTITUTE
THE ELI AND EDYTHE L.
75 AMES STREET



THE ELI AND EDITH L.
BROAD
INSTITUTE



PARKING

STARBUCKS COFFEE



ARROW PLACE





ST 1

75 AMES

ST 2



ST 3

PARKING

ST 4



Cambridge Center
West Garage

Pedestrian
Entrance

ST 5



ST 11

- EXTERIOR -

	ADVANCED SIGNING	Advanced Signing LLC 4 Industrial Park Road Medway MA 02053	t: 508.533.9000 f: 508.533.2975 www.advancedsigning.com	CLIENT Broad Institute	PROJECT 75 Ames Street Cambridge, MA	DRAWN BY PMB	DATE 03.06.13	REVISIONS	SIGN TYPE	DRAWING NO.	DESCRIPTION
									FP	FP.2	Family Portrait



BLACK:
Paint - To Match MP N923 (Black)
Vinyl - 3M Scotchcal 7725-12 (Black)



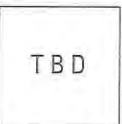
BROAD BLUE:
Paint - PMS 300C
Vinyl - 3M Scotchcal 7725-47 (Intense Blue)



BRUSHED SATIN ALUMINUM:
Paint - MP 30136 (Brushed Aluminum)
Vinyl - 3M Scotchcal 7725-120 (Satin Aluminum)



DARK GRAY:
Vinyl - 3M Scotchcal 7725-41 (Dark Gray)



DOOR COLOR:
Paint - To Match Door (TBD)



PARKING BLUE:
Vinyl - 3M Scotchcal 3630-97 (Translucent)



RAISED COPY:
Rowmark Silver Gray
(Stamped Brushed Aluminum - Confirm)



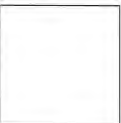
PARKING COLOR 1 -
(TBD)



PARKING COLOR 2 -
(TBD)



TOMATO RED:
Vinyl - 3M Scotchcal 7725-13 (Tomato Red)



WHITE:
Paint - MP 42-202 (Natural White)
Vinyl - 3M Scotchcal 7725-10 (White)



SCREEN PRINTED LOGO:
25% PMS 1C Warm Gray
75% Clear
(Verify)



GLASS MOUNT BACKER:
Vinyl - 3M Brushed Chrome
(Confirm)



DARK BLUE:
(TBD)

- COLORS -

UNIVERS LT 57 CONDENSED

ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz0123456789

UNIVERS LT 67 CONDENSED BOLD

ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz0123456789

TIMES ROMAN

ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz0123456789

- FONTS -



**ADVANCED
SIGNING**

Advanced Signing LLC
4 Industrial Park Road
Medway MA 02053

t: 508.533.9000
f: 508.533.2975
www.advancedsigning.com

CLIENT
Broad Institute

PROJECT
75 Ames Street
Cambridge, MA

DRAWN BY
APD/PMB

DATE
03.01.13

REVISIONS
04.02.13

SIGN TYPE

DRAWING NO.

DESCRIPTION
Colors/Fonts

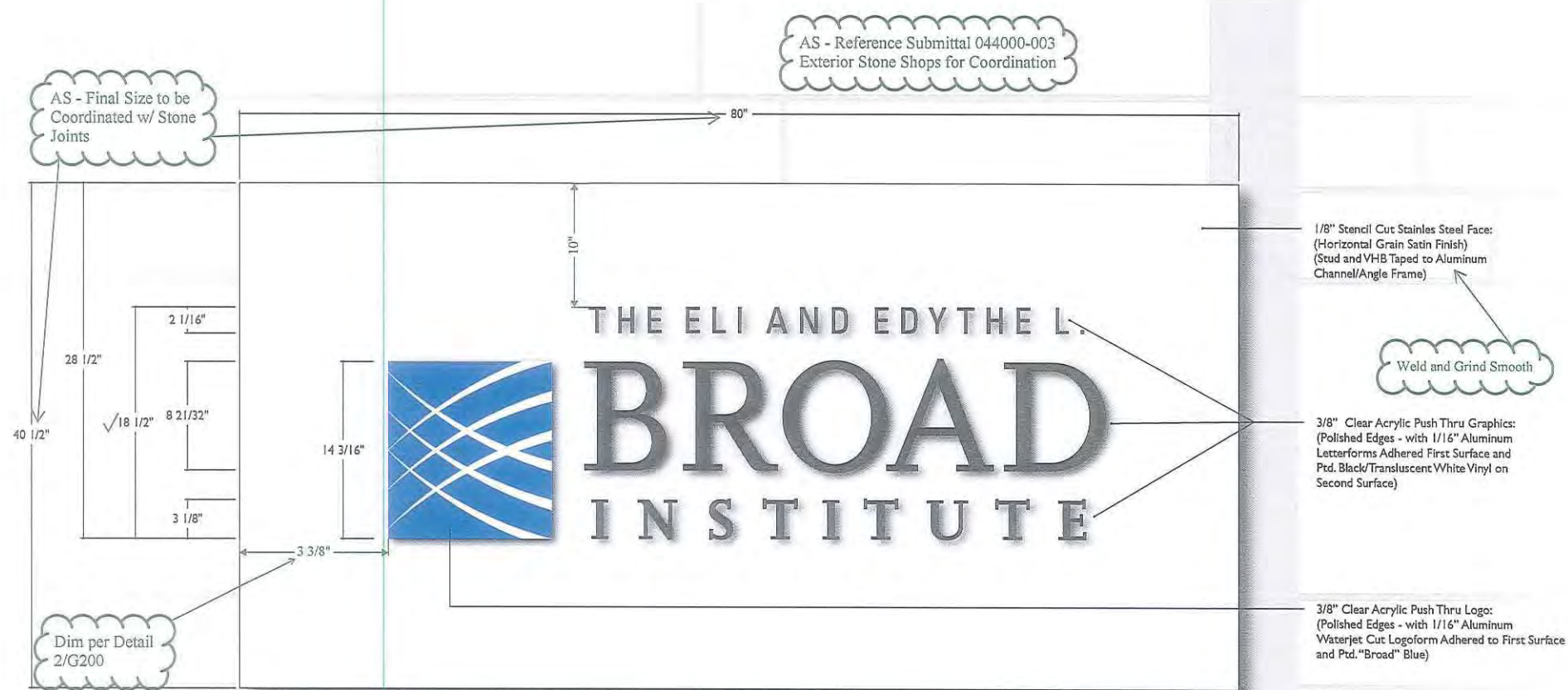


1 Location Elevation:
Scale: 3/8" = 1' - 0"

DESCRIPTION:
2 3/4" (+/-) Custom Fabricated LED Illuminated
Aluminum Sign Cabinet with 1/8" Stencil Cut
Stainless Steel Face, 3/8" Push Thru Graphics,
Halo Illuminated Graphics, Translucent Vinyl Graphics.

INSTALLATION METHOD:
Mechanically Fastened to Existing Wall with
Stone Veneer with 1/4" x 1" Drop-In Anchors
(Internally Threaded Anchors) and
1/4"-20 Hexhead Cap Screws

	ADVANCED SIGNING	Advanced Signing LLC 4 Industrial Park Road Medway MA 02053	t: 508.533.9000 f: 508.533.2975 www.advancedsigning.com	CLIENT Broad Institute	PROJECT 75 Ames Street Cambridge, MA	DRAWN BY APD/PMB	DATE 03.14.13	REVISIONS	SIGN TYPE 1	DRAWING NO. 1.1	DESCRIPTION Broad Identity Sign
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I Elevation
Scale: 1 1/2" = 1' - 0"

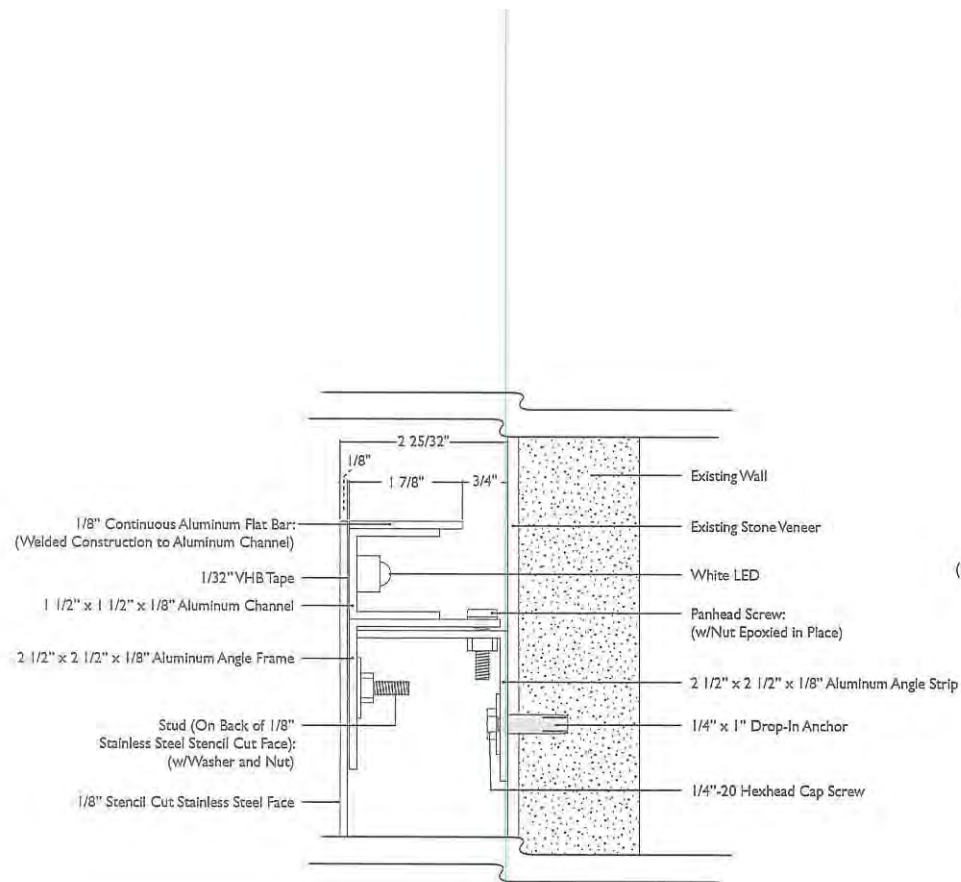
DESCRIPTION:
2 3/4" (+/-) Custom Fabricated LED Illuminated Aluminum Sign Cabinet with 1/8" Stencil Cut Stainless Steel Face, 3/8" Push Thru Graphics, Halo Illuminated Graphics, Translucent Vinyl Graphics.

TYPEFACE:
Per Supplied Vector Graphics File

COLORS/FINISHES:
See Callouts Above

INSTALLATION METHOD:
Mechanically Fastened to Existing Wall with Stone Veneer with 1/4" x 1" Drop-In Anchors (Internally Threaded Anchors) and 1/4"-20 Hexhead Cap Screws

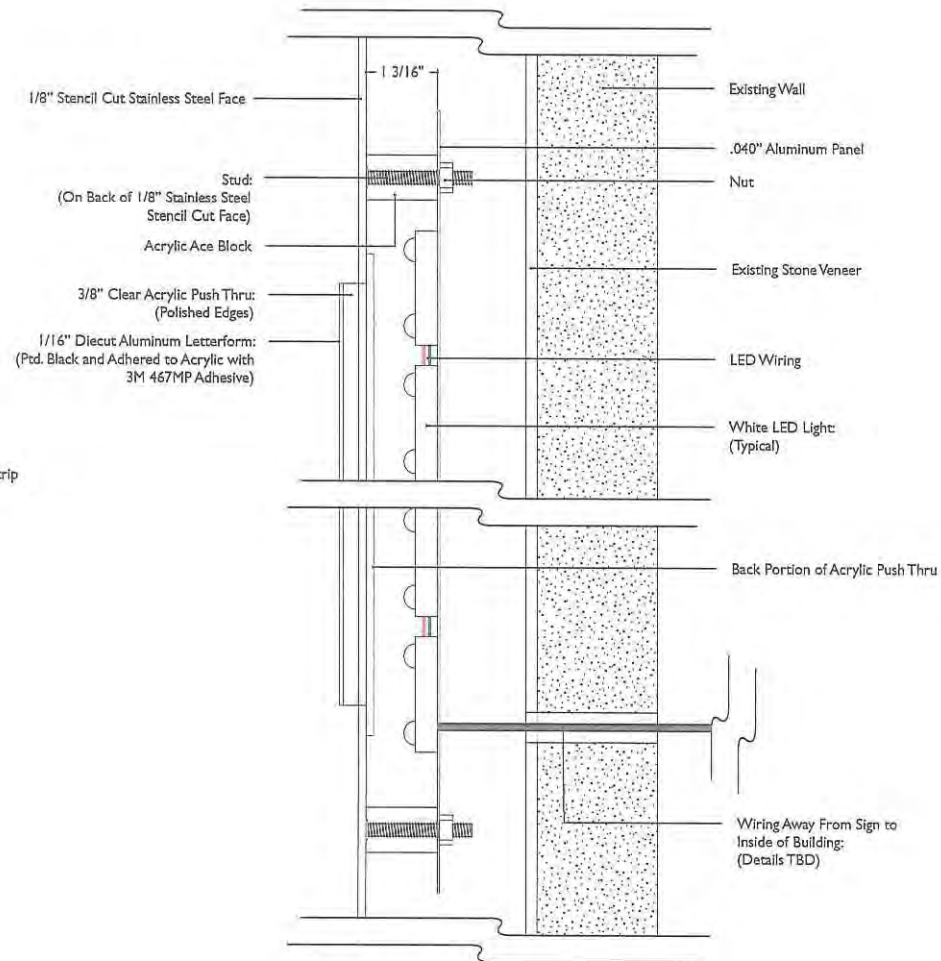
 ADVANCED SIGNING	Advanced Signing LLC 4 Industrial Park Road Medway MA 02053	t: 508.533.9000 f: 508.533.2975 www.advancedsigning.com	CLIENT Broad Institute	PROJECT 75 Ames Street Cambridge, MA	DRAWN BY APD/PMB	DATE 03.14.13	REVISIONS	SIGN TYPE I	DRAWING NO. 1.2	DESCRIPTION Broad Identity Sign
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1 Section @ Halo Illumination/Frame
Scale: 1/2" = 1"

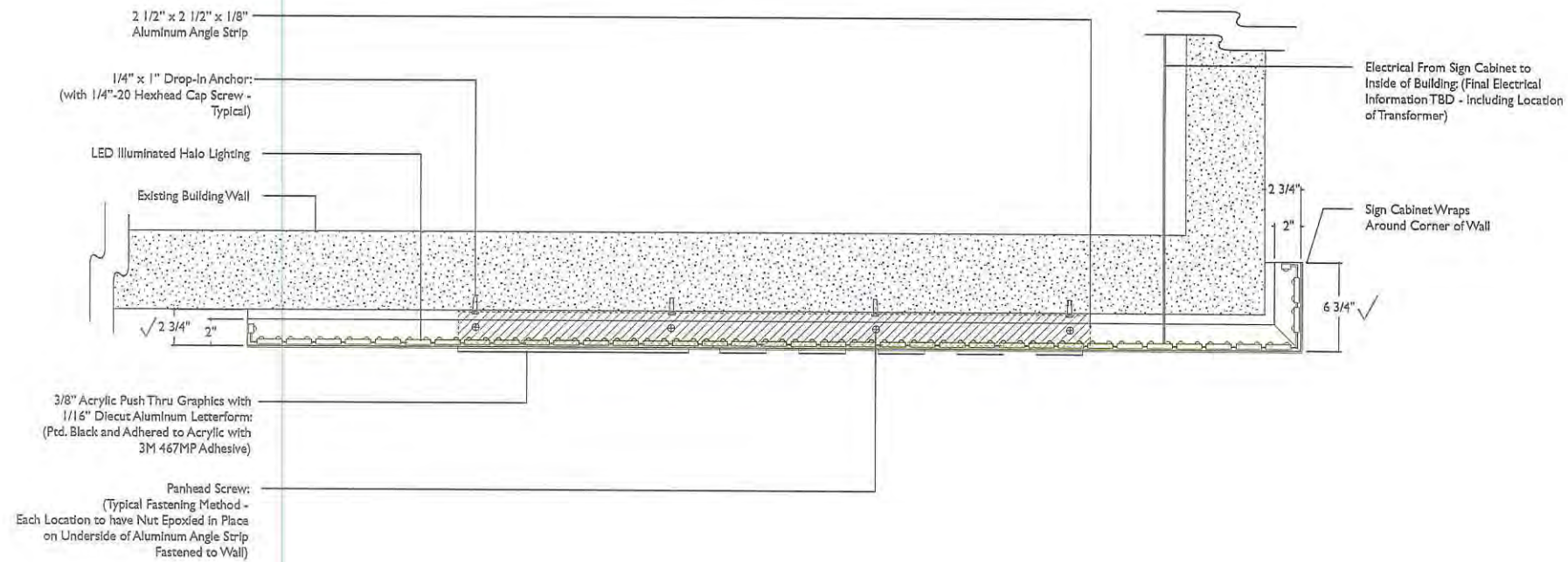
DESCRIPTION:
2 3/4" (+/-) Custom Fabricated LED Illuminated Aluminum Sign Cabinet with 1/8" Stencil Cut Stainless Steel Face, 3/8" Push Thru Graphics, Halo Illuminated Graphics, Translucent Vinyl Graphics.

INSTALLATION METHOD:
Mechanically Fastened to Existing Wall with Stone Veneer with 1/4" x 1" Drop-In Anchors (Internally Threaded Anchors) and 1/4"-20 Hexhead Cap Screws



2 Section @ Push Thru Graphics
Scale: 1/2" = 1"

	ADVANCED SIGNING	Advanced Signing LLC 4 Industrial Park Road Medway MA 02053	t: 508.533.9000 f: 508.533.2975 www.advancedsigning.com	CLIENT Broad Institute	PROJECT 75 Ames Street Cambridge, MA	DRAWN BY APD/PMB	DATE 03.14.13	REVISIONS	SIGN TYPE I	DRAWING NO. 1.3	DESCRIPTION Broad Identity Sign
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1 Vertical Section
Scale: 1 1/2" = 1'-0"

DESCRIPTION:
2 3/4" (+/-) Custom Fabricated LED Illuminated
Aluminum Sign Cabinet with 1/8" Stencil Cut
Stainless Steel Face, 3/8" Push Thru Graphics,
Halo Illuminated Graphics, Translucent Vinyl Graphics.

INSTALLATION METHOD:
Mechanically Fastened to Existing Wall with
Stone Veneer with 1/4" x 1" Drop-In Anchors
(Internally Threaded Anchors) and
1/4"-20 Hexhead Cap Screws



**ADVANCED
SIGNING**

Advanced Signing LLC
4 Industrial Park Road
Medway MA 02053

t: 508.533.9000
f: 508.533.2975
www.advancedsigning.com

CLIENT
Broad Institute

PROJECT
75 Ames Street
Cambridge, MA

DRAWN BY
APD/PMB

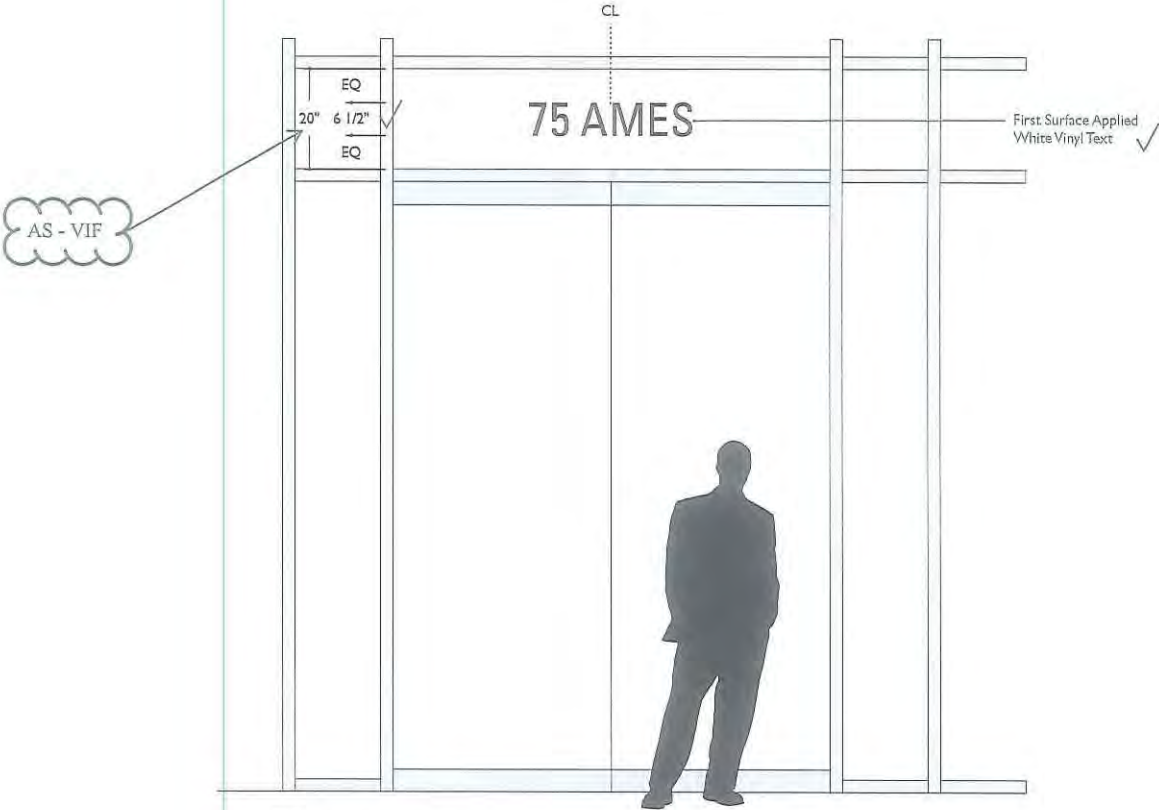
DATE
03.18.13

REVISIONS

SIGN TYPE
1

DRAWING NO.
1.4

DESCRIPTION
Broad Identity Sign



1 Location Elevation
Scale: 1/2" = 1' - 0"

DESCRIPTION:
First Surface Vinyl Graphics on
Glass Panel Above Doors

TYPEFACE:
Univers 57 Condensed -
(Optical Kerning)

COLORS/FINISHES:
See Callouts Above

INSTALLATION METHOD:
First Surface Applied



**ADVANCED
SIGNING**

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Medway MA 02053

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f: 508.533.2975
www.advancedsigning.com

CLIENT
Broad Institute

PROJECT
75 Ames Street
Cambridge, MA

DRAWN BY
APD/PMB

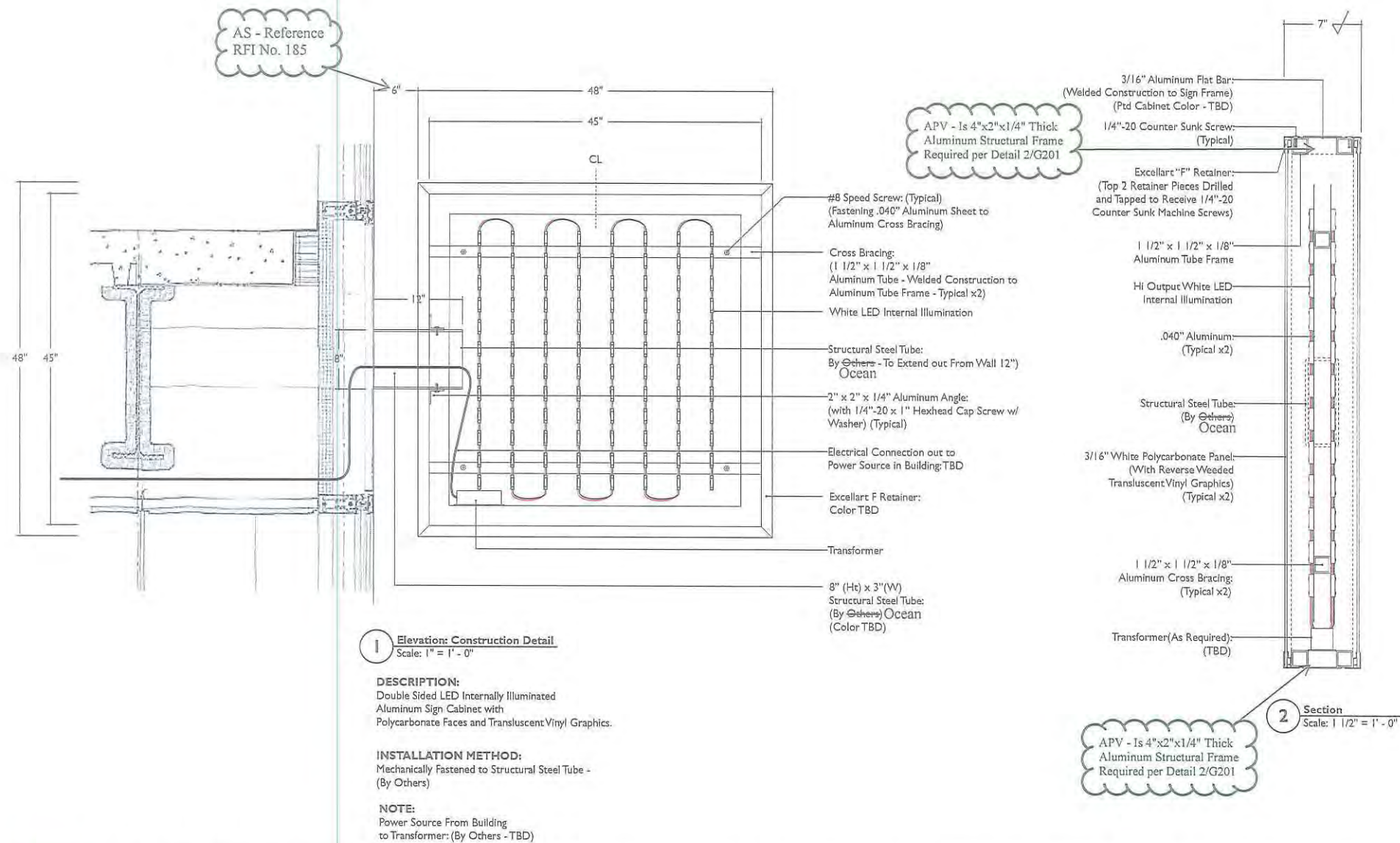
DATE
02.28.13


REVISIONS

SIGN TYPE
2

DRAWING NO.
2.1

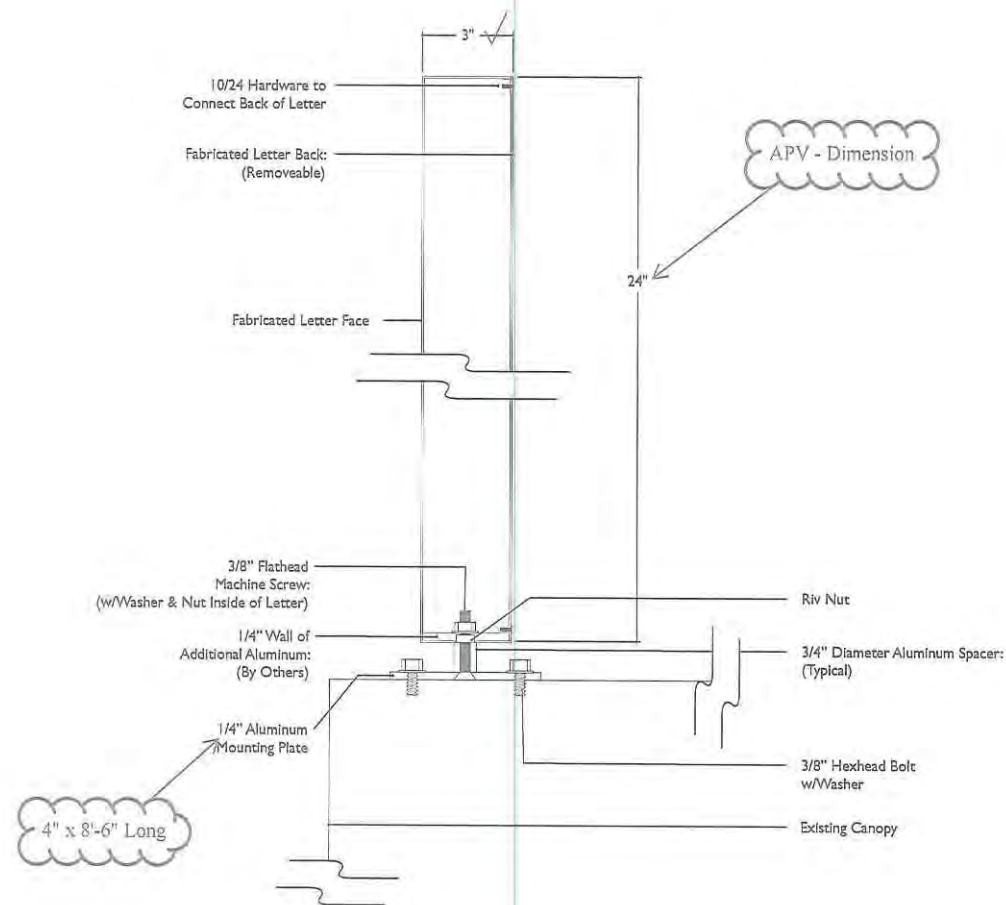
DESCRIPTION
Vinyl Street Address



 ADVANCED SIGNING	Advanced Signing LLC 4 Industrial Park Road Medway MA 02053	t: 508.533.9000 f: 508.533.2975 www.advancedsigning.com	CLIENT Broad Institute	PROJECT 75 Ames Street Cambridge, MA	DRAWN BY APD/PMB	DATE 03.13.13	REVISIONS	SIGN TYPE 3	DRAWING NO. 3.2	DESCRIPTION Parking Projecting Sign
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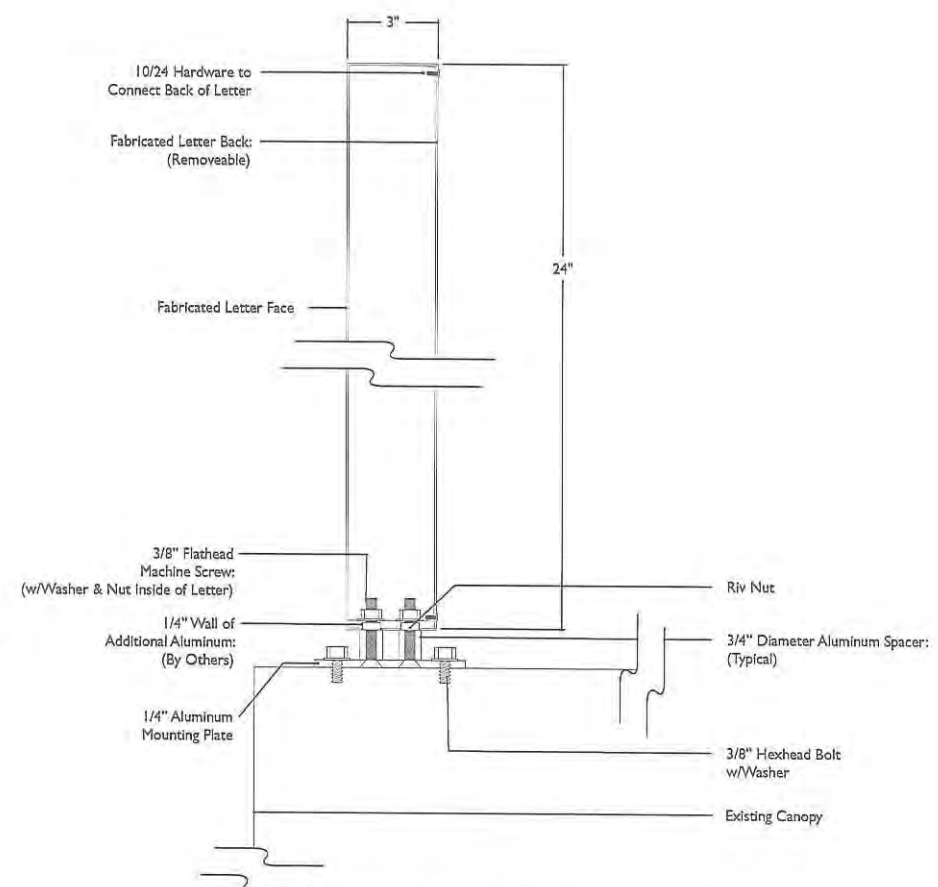
DESCRIPTION	Parking Letters on Canopy
-------------	---------------------------



1 Elevation: Typical Letter Connection
Scale: 3" = 1' - 0"

DESCRIPTION:
3" (+/-) Fabricated Aluminum Letters with
1" Aluminum Spacers

INSTALLATION METHOD:
Mechanically Fastened to Existing Canopy



2 Elevation: Atypical Letter Connection
(Letters "P" and "I")
Scale: 3" = 1' - 0"

DESCRIPTION:
3" (+/-) Fabricated Aluminum Letters with
1" Aluminum Spacers

INSTALLATION METHOD:
Mechanically Fastened to Existing Canopy



**ADVANCED
SIGNING**

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Medway MA 02053

t: 508.533.9000
f: 508.533.2975
www.advancedsigning.com

CLIENT
Broad Institute

PROJECT
75 Ames Street
Cambridge, MA

DRAWN BY
APD/PMB

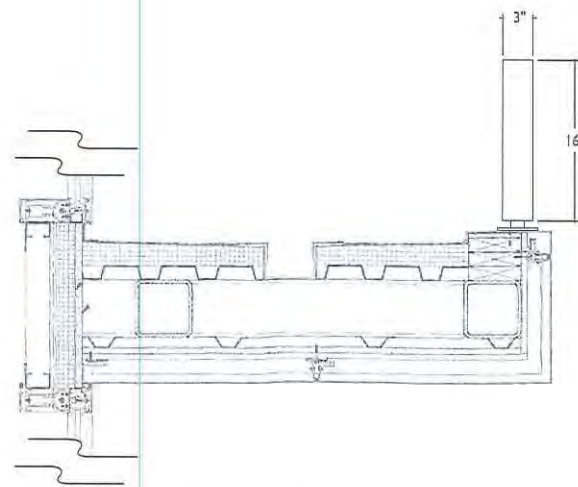
DATE
03.14.13

REVISIONS

SIGN TYPE
4

DRAWING NO.
4.2

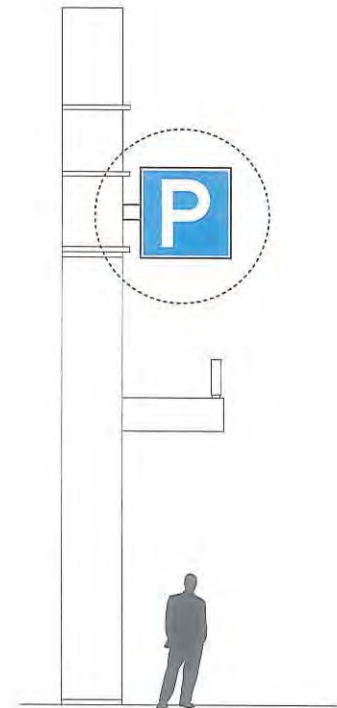
DESCRIPTION
Parking Letters on Canopy



1 Side View: Existing Canopy Detail
Scale: 1" = 1' - 0"

DESCRIPTION:
3" (+/-) Fabricated Aluminum Letters with
1" Aluminum Spacers

INSTALLATION METHOD:
Mechanically Fastened to Existing Canopy



2 Location Elevation: Side View
Scale: 3/16" = 1' - 0"



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SIGNING**

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Medway MA 02053

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f: 508.533.2975
www.advancedsigning.com

CLIENT
Broad Institute

PROJECT
75 Ames Street
Cambridge, MA

DRAWN BY
APD/PMB

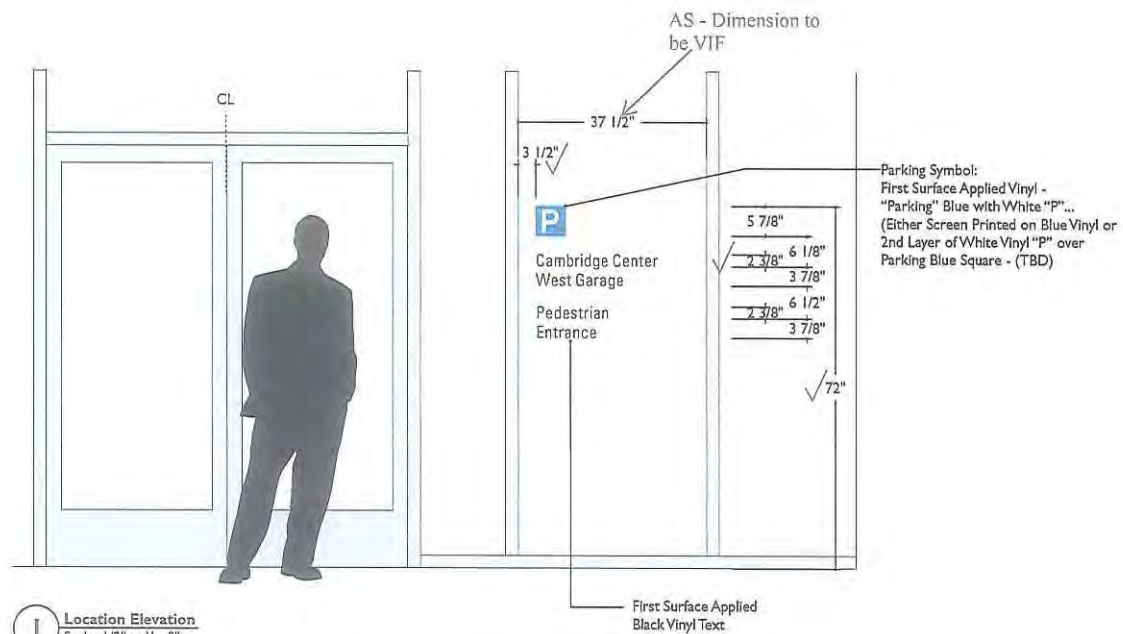
DATE
03.14.13

REVISIONS

SIGN TYPE
4

DRAWING NO.
4.3

DESCRIPTION
Parking Letters on Canopy



I Location Elevation
Scale: 1/2" = 1' - 0"

DESCRIPTION:
First Surface Vinyl Graphics on
Glass Panel Above Doors

TYPEFACE:
Univers 57 Condensed -
(Optical Kerning)

COLORS/FINISHES:
See Callouts Above

INSTALLATION METHOD:
First Surface Applied



**ADVANCED
SIGNING**

Advanced Signing LLC
4 Industrial Park Road
Medway MA 02053

t: 508.533.9000
f: 508.533.2975
www.advancedsigning.com

CLIENT
Broad Institute

PROJECT
75 Ames Street
Cambridge, MA

DRAWN BY
APD/PMB

DATE
02.28.13

REVISIONS

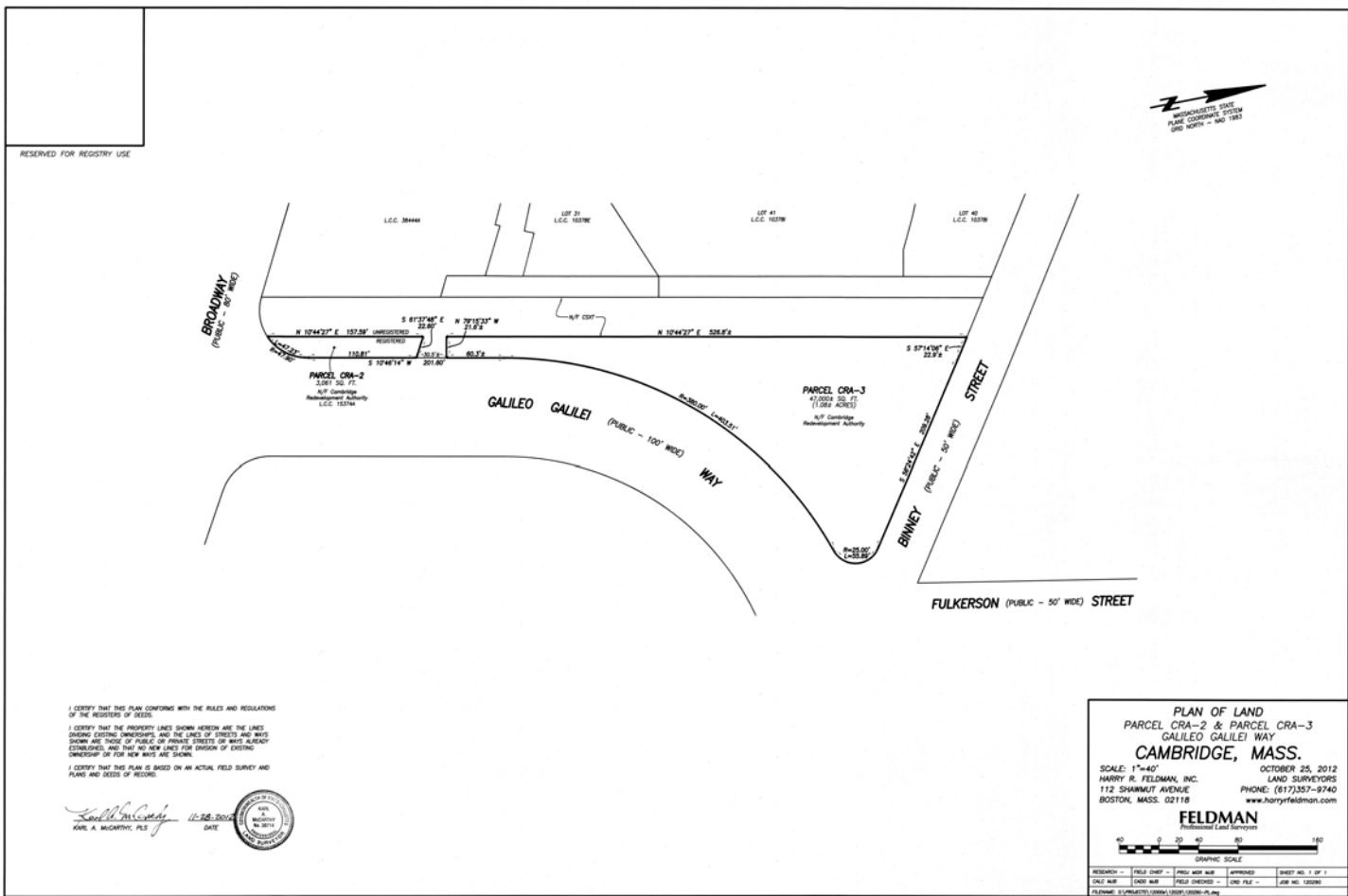
SIGN TYPE
5

DRAWING NO.
5.1

DESCRIPTION
Vinyl Parking Pedestrian
Entrance Sign

Motion:

Authorizing the Chair and the Executive Redevelopment Officer to execute and deliver, for and on behalf of the Cambridge Redevelopment Authority, a deed conveying Parcel CRA-2 (containing 3,061 square feet, more or less) and Parcel CRA-3 (containing 47,000 square feet more or less), bounded by Binney Street, Galileo Galilei Way, and the current MassDOT / former CSXT railroad right-of-way, to the City of Cambridge for open space purposes.



DRAFT

MEETING NOTES / ON-SITE TOUR: BIOGEN / 300 BINNEY STREET on 31 May 2013
Substantial Completion Construction Review

Attending: Kathy Born (CRA), Barry Zevin (CRA), Tom Evans (CRA), Kevin Sheehan (BP), David Manfredi (EM), Chris Milne (EM), Janna Kauss (EM), Roger Boothe (CCDD), Katherine Madden (CRA Strategic Consultant), and Larry Bluestone (BPG)

Notes Submitted By: Larry Bluestone 8 June, 2013

On 31 May 2013, the CRA's and the City's design review team met with Boston Properties (BP) and Elkus Manfredi (EM), for an on-site tour to review the substantial completion of construction of the new Biogen research building located at 300 Binney Street. According to BP, construction will be completed and occupancy expected by the end of June, 2013. BP has developed the building for Biogen, and BP will remain the owner of the building. Biogen will lease the building from BP.

Biogen / 300 Binney is an office facility on the upper floors. The ground floor includes a secure entry lobby for employees and visitors along the West Drive, a health center, a Day Care Center to be operated by Bright Horizons with its own exclusive entrance on Binney Street and drop-off bay along West Drive. The Day Care Center will also include a protected outside playground for children south of the building adjacent to Binney Street. Biogen/ 300 Binney will get its power from the nearby Biogen Co-Gen plant.

300 Binney is directly linked to the adjacent Biogen building to its south by a 2-level glass enclosed connector which will allow employees to walk enclosed between the buildings. 300 Binney is not designed with service loading docks. Instead, deliveries will be made to the adjacent Biogen building's loading bays along West Drive and carted through the glass connector to 300 Binney. In the future, if another company tenant occupies 300 Binney, separate loading docks will then need to be constructed at 300 Binney. In anticipation of that possibility, 300 Binney has been designed to accommodate future loading docks at its southeast corner along West Drive.

Occupancy Permits for 300 Binney and the Glass Connector will soon be sought by BP.

On the day of the tour, the exterior of the building was substantially complete with the exceptions of installing exterior column cover cladding on the ground floor, and with some landscaping and sidewalk paving remaining incomplete. The interiors were in the process of being fitted out.

Tour Review

The CRA's and City's design review team were given a tour of a typical office floor, the ground floor, and outdoor spaces.

The typical office floor consisted of a circulation / elevator lobby core, offices, open lab bench areas, and a kitchen / lounge. The ceiling was a suspended tile system above which were mechanical equipment ducts and wiring for lighting fixtures. The floor was a raised modular tile floor system that allowed electrical and communications cables to run flexibly beneath it.

The ground floor will include entrance lobbies, a health club, and a day care center. The Day Care Center was a late request by Biogen to BP, and a revision from the formal Construction Documents submission, (although the possibility of a Day Care Center was discussed at the time of that submission). The ground floor was still substantially in construction for interior fit-out. However, the remainder of interior construction was anticipated to be completed rapidly.

BP was asked whether their rooftop mechanical equipment screen was going to be lit at night as discussed earlier during previous interim design reviews. BP responded that they were not planning to light the screen since they concluded that it could not be seen from street level except from a narrow visual corridor along the Binney Street Extension approach to the building.

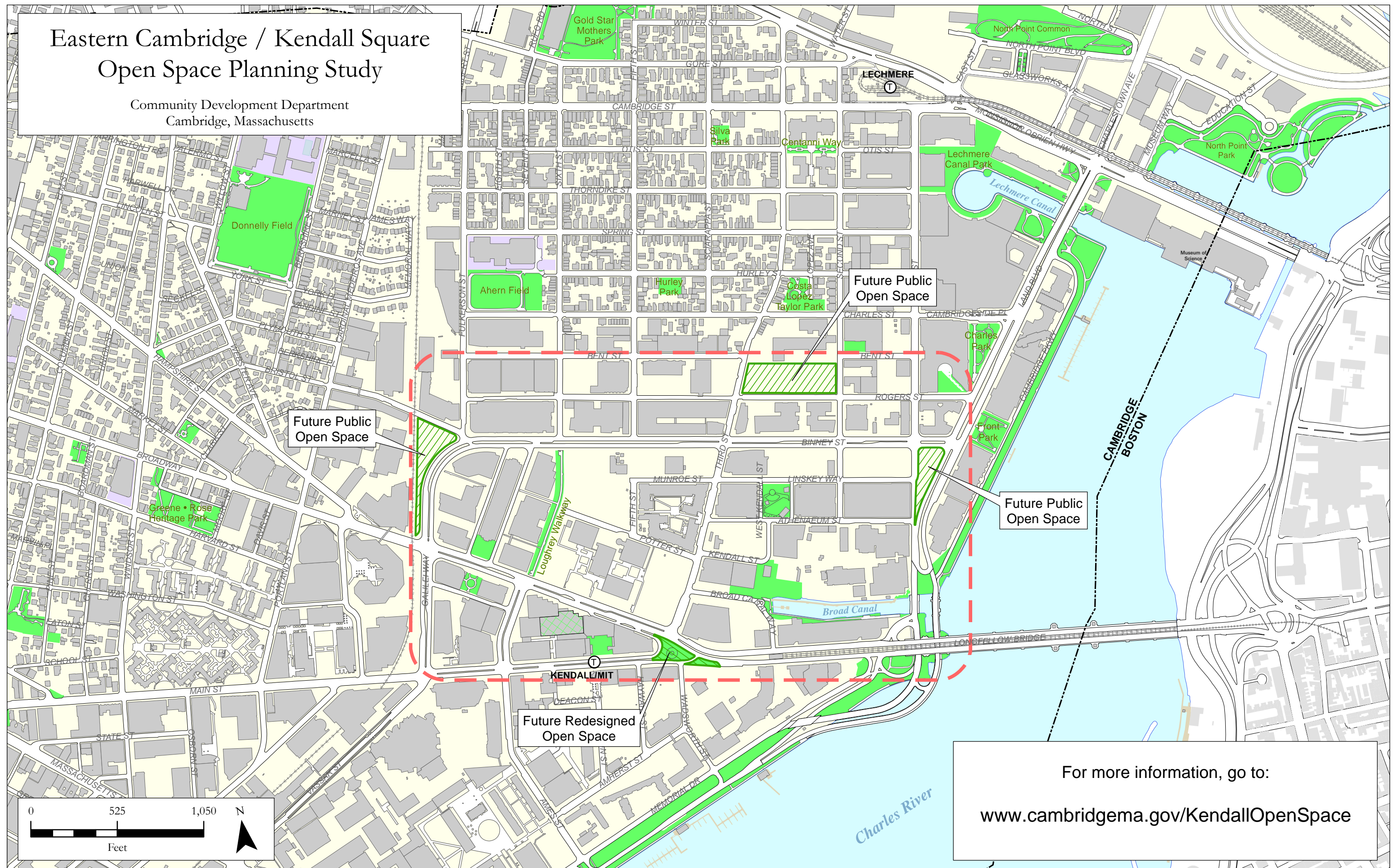
In general, the substantially completed building looked like it had been constructed in conformity with the Construction Documents submission in regard to function, plans, appearance and materials, and would be completed according to schedule this summer and ready for occupancy then.

If you have edits or changes to these draft Meeting Notes, please forward them to Larry Bluestone at lbluestone@bluestoneplangroup.com.

Submitted by,
Larry Bluestone

Eastern Cambridge / Kendall Square Open Space Planning Study

Community Development Department
Cambridge, Massachusetts



For more information, go to:
www.cambridgema.gov/KendallOpenSpace

ECKOS Committee
May 29, 2013

East Cambridge/Kendall Square:
Inventing Places for People*
1960-present

**A Tip of the Hat to Karl Haglund:
Author of Inventing the Charles River*

J. Roger Boothe
Director of Urban Design
Community Development Department



Now, our challenge in Kendall Square and East Cambridge is to take what we have done so far, and make it even better



We invented the Charles River, and the industrial areas alongside it, over centuries of development and change

East Cambridge/Kendall Square:
Inventing Places for People
1960-present



GETTING STARTED
1960-1980

1. Cambridge Center/CRA
2. East Cambridge Riverfront

SPIN-OFF ENERGY
1990-2000

3. North Point Begins
4. Lyme PUD

NEW MOMENTUM
2000-Present

5. ECaPS/Alexandria
6. MIT/K2C2

We have been creating
Places to Walk
Places to Sit
Places to Play
Places for Quiet
Places with Water
Places with Art
Destinations
Landmarks
Connections

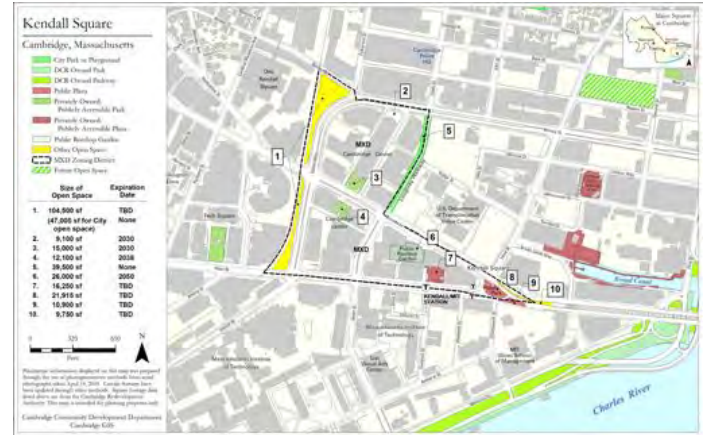


In the last few decades, we have been reinventing the industrial areas for a new set of uses, this time with Places for People

GETTING STARTED
1960-1980
1. Cambridge Center/CRA
2. East Cambridge Riverfront



1. “Cambridge Center”/Urban Renewal Plan



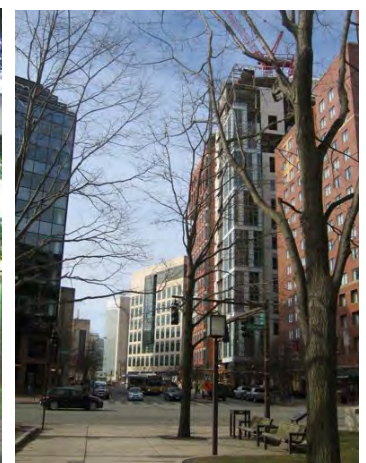
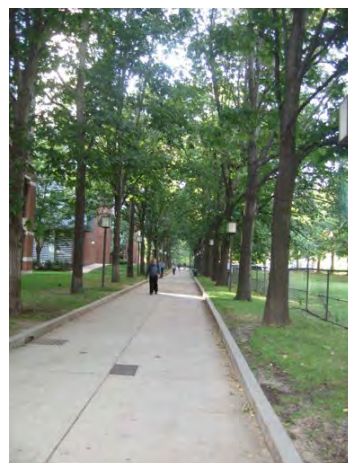
Key open spaces in MXD: Plaza at MBTA, 6th Street path, Rooftop, Point Park, Binney Street park(TBD), urban streetscape



**Note 3 Towers in 1970: Badger, DOT, EC Courthouse
Broadway and Main Streets, before Binney Connector**



Kendall Sq MBTA plaza recently renovated by Boston Properties



6th Street car-free path an important connector



New entryway on Main with interior shopping arcade & passageway to elevator to rooftop plaza



The open space at the curve in Binney Street (design/use TBD)



Google expansion with c. 2/3 of rooftop plaza remaining



Urban streetscape: more pedestrian improvements coming, esp. Main and Broadway

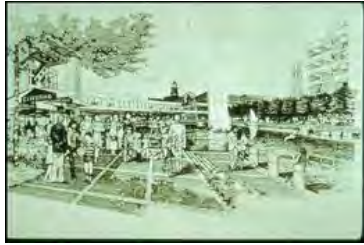


Point Park in need of renovation/rethinking



Housing proposed on Ames would also improve streetscape, now dominated by parking garage

2. East Cambridge Riverfront



Lechmere Canal Park
"invention" at the heart of 9
acres of new parkland built
in the 1980s



The East Cambridge
Riverfront reinvented:
mixed-use district with
interconnected open space
system (1979-2002)



SPIN-OFF ENERGY

1990-2000

3. North Point Begins

4. Lyme PUD



3. North Point Begins



North Point starts with reclaiming the Lost Half Mile near the river



Lechmere Canal Park



Front Park and riverfront



Charles Park



Centanni Way



New open spaces in North Point:
PUD on left and New Charles River
Basin above



Zakim Bridge, 40 acres of new parkland, and new ped/bike bridge resulting from agreement settling Scheme Z lawsuit



Broad Canal, walkway from 1982 on right, with recently completed walk and kayak concession

4. Lyme PUD (1999)



Lyme Master Plan: development within a set of new streets and open spaces, totaling about 70,000 square feet (c. 1.6 acres)

Watermark Phase II (under construction)
will strengthen connection to Broad Canal



LYME PUD plaza works in all seasons, makes important links

NEW MOMENTUM
2000-Present
5. ECaPS/Alexandria
6. MIT/K2C2



5. Eastern Cambridge Area Plan (ECaPS)



Encourage retail by not counting it as FAR
 North Point urban design given stronger guidelines
 Volpe open space requirement
 "Transitions areas" buffer (later modified by Alexandria)



HYM Plan for revised North Point PUD features new pedestrian connection to Orange Line



ECaPS Retail: housing with ground floor retail now connects to and enlivens the open space system



Image from ECaPS study, showing the 7 acre park at Volpe site, if designed to be on Binney Street—location and shape could vary



ECaPS plan had central park N-S, changed to E-W in approved PUD



Current zoning, from ECaPS, would require c. 7 acres of open space should Volpe site be redeveloped



ECaPS envisioned height transitions, but not major open space



Rogers Street park site soon to be turned over to City



Alexandria PUD along Binney modified ECaPS by allowing more height & density in exchange for major open space additions



Triangle park site potential for more effective design/function



Alexandria design for Ariad along Binney, south of site for new 2-acre park, with pedestrian access

6. MIT and K2C2



Brain and Cognitive Sciences: opening under building for multi-use path



MIT Vision for open space in upcoming development



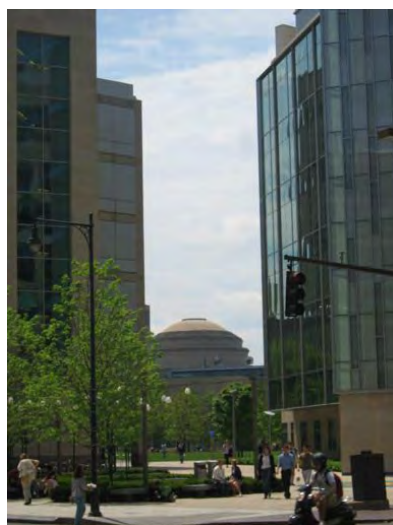
Widened sidewalk at Innovation Center building, and plaza at Sloan School at MIT, permitted 2007

ACTIVE USES



20

Plaza at Koch Center for Cancer Research, wayfinding with view of dome



A MIXTURE OF USES

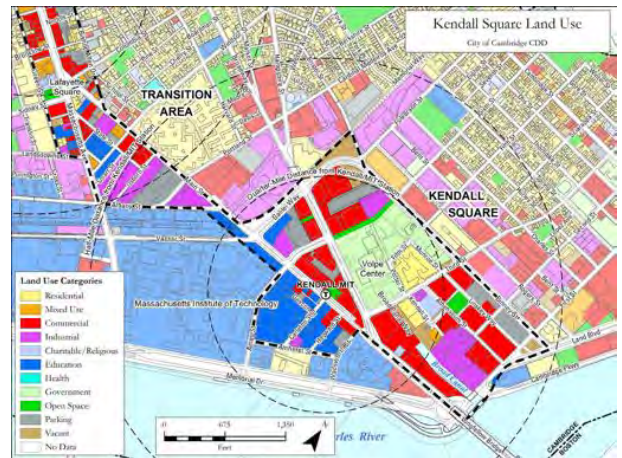


14

BUILDING A LIVABLE COMMUNITY POSSIBLE VIEW FROM BROAD CANAL



13



K2 Steps: MIT PUD enacted, Planning Board studying MXD and Volpe recommendations from Committee

The ECKOS Committee



Decades of invention in one image



Coming up with a vision to make great spaces, well connected to each other and to the whole area



K2C2 Plan: showing vision for unified Kendall Square



Signage Rebrand Strategy

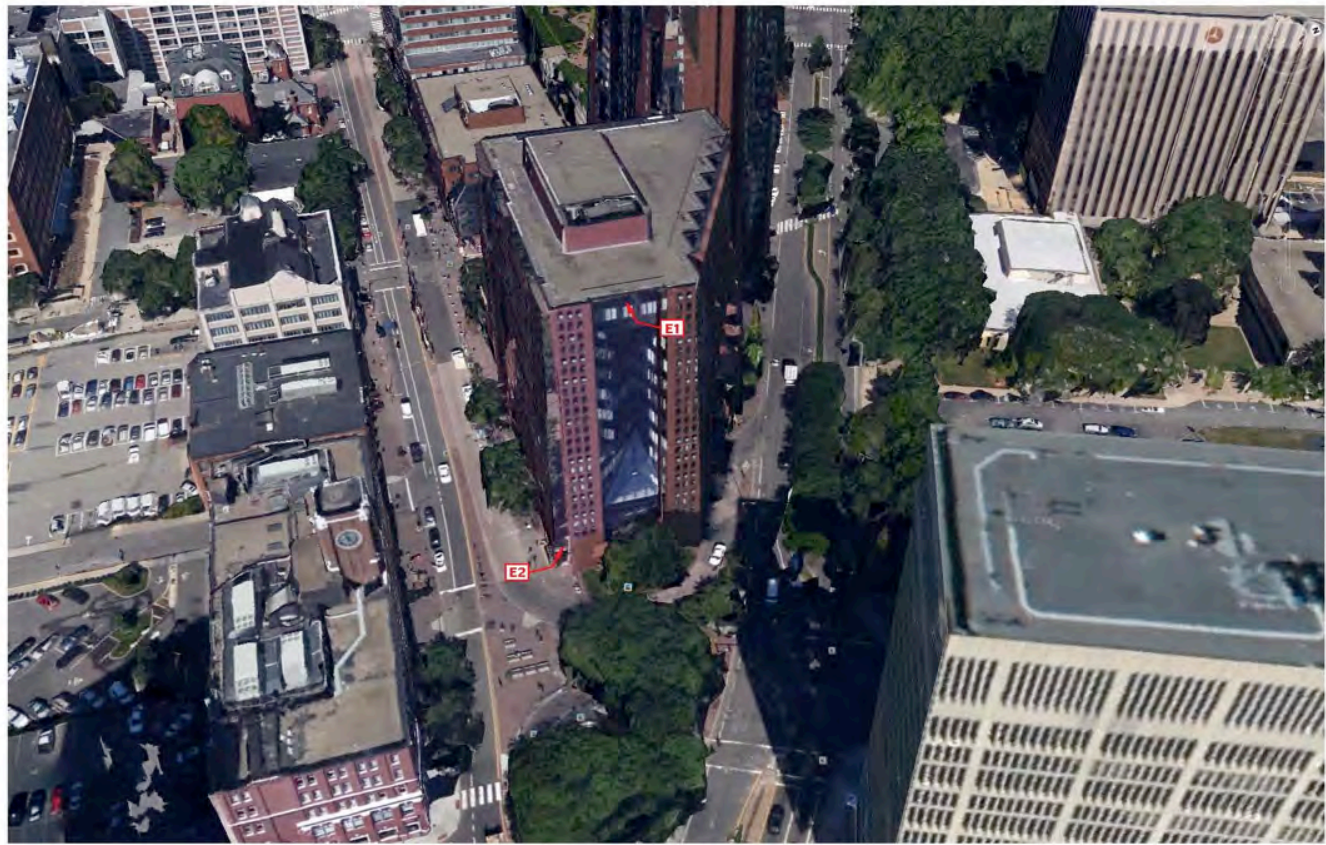
Real Estate and Facilities

1CC - "FINAL"

Cambridge, MA
1 Cambridge Center

Drawing Date:
03.20.13

Revisions:
06.06.13



- E1** Illuminated Letterset for Building Facade
- E2** Replacement Faces for Blade Sign

Location: Cambridge, MA	Address: One Cambridge Center	Building: 1CC	Date Created: 3.19.13	
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E2 Replacement Faces for Blade Sign - (Qty 2)

8

Signage Rebrand Strategy

Remove existing faces from double-faced blade sign. Install (2) new routed aluminum faces colored Mica Grey 4-MZG-50 LRV 7.95/SR14 to match existing. Product is from Alpolic & Alpolic. Each face to have white acrylic push-thru copy.

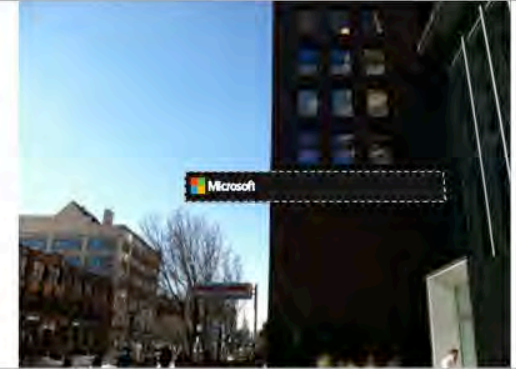
Colors

 VN-1 (Translucent Vinyl) Orange Arlon 2500-2119	 VN-2 (Translucent Vinyl) Green Arlon 3938 (Custom)	 Translucent White Acrylic Polycast #2447
 VN-4 (Translucent Vinyl) Blue Arlon 4143 (Custom)	 VN-3 (Translucent Vinyl) Yellow Arlon 3950 (Custom)	
 1/4" thick aluminum colored Mica Grey 4-MZG-50 LRV 7.95/SR14 (to match existing) Product from Alpolic & Alpolic		

before

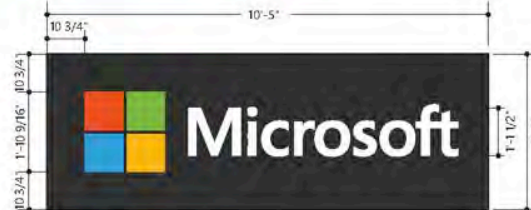


after

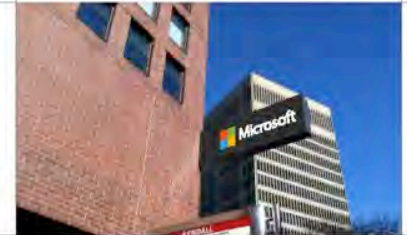


Existing Signage: 36" H x 126" W double-faced illuminated blade sign with routed aluminum faces and white acrylic backing behind copy area

Location: Exterior building corner



Back side - (1) face required



31'-8" OAL



Front side - (1) face required

Scale: 3/8" = 1'

Location: Cambridge, MA	Address: One Cambridge Center	Building: 1CC	Date Created: 3.19.13	
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